



**City of Apopka  
Planning Commission  
Special Meeting Agenda  
May 24, 2016**

**5:30 PM @ CITY COUNCIL CHAMBERS**

**I. CALL TO ORDER**

If you wish to appear before the Planning Commission, please submit a "Notice of Intent to Speak" card to the Recording Secretary.

**II. OPENING AND INVOCATION**

**III. APPROVAL OF MINUTES:**

1. Approve minutes of the Planning Commission regular meeting held May 10, 2016, at 5:30 p.m.

**IV. PUBLIC HEARING:**

1. SPECIAL EXCEPTION – Miracle Grace Academy – The property is owned by Wekiva Corners, Inc.; the applicant is Miracle Grace Academy; and the property is located at 2250 & 2252 East Semoran Boulevard.

**V. SITE PLANS:**

1. MASS GRADING PLAN – Wekiva Parkway Industrial Park – Owned by Mid-Florida Freezer Warehouse, Ltd.; applicant and engineering firm is June Engineering Consultants, Inc., the property is located south of General Electric Road, east of Hermit Smith Road, and west of the Western Beltway (S.R. 429). (Parcel ID Nos.: 01-21-27-0000-00-030; 01-21-27-0000-00-060; 06-21-28-7172-12-060; 06-21-28-7172-13-000; 12-21-27-000-00-010; 12-21-27-0000-00-018) (136.89 +/- acres – Area of Excavation)
2. PRELIMINARY DEVELOPMENT PLAN – Wekiva Parkway Industrial Park – Owned by Mid-Florida Freezer Warehouse, Ltd.; applicant and engineering firm is June Engineering Consultants, Inc., the property is located south of General Electric Road, east of Hermit Smith Road, and west of the Western Beltway (S.R. 429). (Parcel ID Nos.: 01-21-27-0000-00-030; 01-21-27-0000-00-060; 06-21-28-7172-12-060; 06-21-28-7172-13-000; 12-21-27-000-00-010; 12-21-27-0000-00-018) (140.47 +/- acres)

**VI. OLD BUSINESS:**

**VII. NEW BUSINESS:**

**VIII. ADJOURNMENT:**

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All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

**Backup material for agenda item:**

- 1 Approve minutes of the Planning Commission regular meeting held May 10, 2016, at 5:30 p.m.

**MINUTES OF THE PLANNING COMMISSION MEETING HELD ON MAY 10, 2016, AT 5:30 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.**

**MEMBERS PRESENT:** James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Linda Laurendeau, Roger Simpson, and Pam Toler

**ABSENT:** Orange County Public Schools (Non-voting)

**OTHERS PRESENT:** Mark Reggentin, AICP – Community Development Director, David Moon, AICP - Planning Manager, Andrew Hand, Esq., Kyle Wilkes, AICP – Planner II, Robert Sargent – Public Information Officer, Eric Palank, Tenita Reid, Bobby Reid, Sharon Mongtomeue, Terri Jones, Herbert Jones, Chuck Touhey, Suzanne Kidd, Teresa Sargeant, and Jeanne Green – Community Development Department Office Manager/Recording Secretary.

**OPENING AND INVOCATION:** Chairman Greene called the meeting to order and asked for a moment of silent prayer. The Pledge of Allegiance followed.

**APPROVAL OF MINUTES:** Chairperson Greene asked if there were any corrections or additions to the regular meeting minutes of April 12, 2016, at 5:30 p.m. minutes.

**Motion:** Melvin Birdsong made a motion to approve the Planning Commission minutes from the regular meeting held on April 12, 2016, at 5:30 p.m. and seconded by Robert Ryan. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Linda Laurendeau, Roger Simpson, and Pam Toler (7-0).

**SWEARING-IN** - Mr. Hand swore-in staff, the petitioners, and affected parties.

**QUASI-JUDICIAL – SPECIAL EXCEPTION** - Chairperson Greene stated that pursuant to Section 11.05.00.A. of the Code of Ordinances, the Planning Commission may review and approve special exception requests. This is a request to approve a special exception to allow a kindergarten through second grade private school within a property assigned a C-1 (Commercial) zoning designation. The property, Wekiva Corners Shopping Center, is owned by Platinum Eagles 2011, LLC, and located at 2250 and 2252 East Semoran Boulevard.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

In response to Chairperson Greene asking if the Commission members had any ex parte communications to divulge regarding this item, Mr. Ryan stated that he had forwarded questions to Mr. Moon regarding the special exception request.

In response to a question by Chairperson Greene, Mr. Hand confirmed that e-mails from Commission members to staff constitutes ex parte communications and should be disclosed during the public hearing.

Staff Presentation: David Moon, AICP, Planning Manager, stated this is a request to approve a special exception to allow a kindergarten through second grade private school within a property assigned a C-1 (Commercial) zoning designation. The property, Wekiva Corners Shopping Center, is owned by Platinum Eagles 2011, LLC, and located at 2250 and 2252 East Semoran Boulevard. The future land use is Commercial (Max. 0.25 FAR) and the zoning is C-1. The existing use is a retail shopping center. The proposed use is a kindergarten through second grade private school not to exceed 50 students or 5,000 sq. ft. in size. The tract size is 5.29.

Within the C-1 (Retail Commercial) zoning category, a school is a special exception use requires Planning Commission action. The current application requests to use the commercial tenant space at 2250 and 2252



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East Semoran Blvd. (Wekiva Corners shopping center) for a kindergarten through second grade private school with an anticipated enrollment of 25 to 35 students.

The property is presently assigned a Future Land Use Designation of “Commercial” and a zoning category of C-1 (Retail Commercial). School and institutional uses are allowed as a Special Exception in the C-1 zoning district per Section 2.02.02B.5.d of the Land Development Code, provided the use will not create adverse circumstances affecting the health, safety, and general welfare of the public.

- A. Relationship to Adjacent Properties: Zoning and existing land use assigned to adjacent and nearby properties appears in the attached exhibits. The character of the area surrounding the subject property is described as follows:

<i><b>Direction</b></i>	<i><b>Future Land Use</b></i>	<i><b>Zoning</b></i>	<i><b>Present Use</b></i>
North (City)	Commercial (max 0.25 FAR)	C-1	Sonny’s BBQ/Wells Fargo
East (City)	Commercial (max 0.25 FAR)	C-1	Muffler Man
South (City)	Residential High (0-15 du/ac)	PUD	Oasis at Wekiva Apartments
West (City)	Commercial (max 0.25 FAR)	C-1	Retail Commercial (Stinson Center)

- B. Special Exception Development Standards. Article II of the Land Development Code establishes development standards specific to special exceptions. These standards are intended to reduce any impacts from the proposed special exception use on adjacent properties.

- C. Special Exception Conditions of Use.

1. The number of kindergarten through second grade students (full-time equivalent) shall not exceed 50.
2. The total floor area of the proposed private school shall not exceed 5,000 sq. ft., all floor area of the school shall be contiguous, and access to all classrooms shall occur from internal to the building.
3. No outdoor activities related to this proposed special exception use shall occur except for such activities authorized through a special event permit approved by the City.
4. The Special Exception Use only applies to land contained within Parcel No. 12-21-28-0000-00-014 as of the date of the adoption hearing.
5. This Special Exception authorization expires if (a) the applicant fails to obtain a certificate of occupancy or a business tax receipt within two years from the date of the Special Exception approval; and (b) the Special Exception Use has vacated the parcel for more than 180 consecutive days.

The Development Review Committee recommends approval of the Miracle Grace Academy Special Exception to allow a private Kindergarten through Second Grade school not to exceed 50 students or 5,000 sq. ft. floor area in size within a C-1 zoning district subject to the special exception conditions within the Staff Report.

The recommended motion is to approve the Miracle Grace Academy Special Exception Use to allow a private Kindergarten through Second Grade subject to the Special Exception Conditions of Use.

Planning Commission Role - Pursuant to the City of Apopka Code of Ordinances, Part III, Land Development, Article XI, Section 11.05.D.1 the Planning Commission has the authority to take final action

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on a special exception application. Therefore, the Planning Commission may approve, deny or approve with conditions this application. An applicant may appeal the Planning Commission action to the City Council.

Mr. Moon stated that one of the items Mr. Ryan in his e-mail was his concern regarding the safety of the students walking to and from the proposed private school. He assumed there would be no school crossing zone on S.R. 436 and stated that students and parents would have to cross ten (10) lanes of traffic that included turn lanes. He wanted to know if the school would be required to supply crossing guards before and after school.

Mr. Moon stated that was not a requirement for the special exception request; however, the Commission has the ability to add a condition that parents or legal guardians drop off or pick up the students.

Mr. Moon stated that Mr. Ryan also wanted to know which part of the current building would be utilized by the School. The school is not to exceed 5,000 square feet of the southeastern portion of the building.

Mr. Moon stated that another question from Mr. Ryan was whether there were any other private schools in Apopka that are not allowed outdoor activities. He said there is a charter high school in the Apopka Square Shopping Center that does not have outdoor activities.

Mr. Ryan expressed his concerns regarding the site and parking lot not being built to accommodate a school; spill over traffic; and the multiple entrances into the building.

In response to a question by Ms. Laurendeau, Mr. Moon stated the Building Official and Fire Department personnel would be reviewing the building permits to ensure that the building meets the building code requirements for emergency ingress and egress.

In response to questions by Mr. Foster, Mr. Moon stated that the property is located at the intersection of Semoran Boulevard (S.R. 436) and Piedmont Wekiwa Road. There are two or three entrances into the Wekiva Corners Shopping Center.

Petitioner Presentation: Chuck Touhey, C F Touhey Construction, 970 Sunshine Lane, Altamonte Springs, stated that the proposed private school will use adjacent units in the Center and each unit has one entrance in the front and one in the back. The majority of the tenants in the building are churches and the parking lot in the front will be fairly empty between the drop-off times of 8:00 to 10:00 a.m. On the side there might be two to three cars and the lot in the back is empty most of the time. Both of the entrances in each unit will be monitored. He stated this is off the main roadways and there is ample parking.

In response to a question by Ms. Toler, Terri Jones, owner and teacher, 4532 Wheatley Street, Orlando, stated that while the maximum number of students allowed is 50, there would only be approximately 30 students.

In response to a question by Mr. Birdsong, Ms. Jones stated that outdoor activities would be provided for the students. She would be transporting them via van to area playgrounds three times a week and in addition, the school will have a play area.

In response to a question by Mr. Ryan, Ms. Jones stated that drop-off would begin at 7:00 a.m. and school would begin at 8:15 a.m. and dismiss at 3:15 p.m. Students should be picked up by 3:30 p.m. to 4:00 p.m.

Affected Party Presentation: None.

Chairperson Greene opened the meeting for public hearing.

Suzanne Kidd, 1260 Lexington Parkway, Apopka, expressed her opposition to the proposed private school.

Tenita Reid, 651 O'Leary Court, Apopka, expressed her support for the private school.

With no one else wishing to speak, Chairperson Greene closed the public hearing.

In response to questions by Chairperson Greene, Mr. Moon stated that if the Commission denied the request or approved it with conditions, the applicant has the opportunity to file an appeal with the City Council. He said, if approved, the next steps for the applicant would be to file for their building permits for the build-out. This item will not be brought back to the Planning Commission.

Herman Jones, 4532 Wheatley Street, Orlando, Ms. Jones' husband, stated they have given this a lot of thought and they have a plan. The entrances would be kept locked and monitored by video cameras both in the front and the back.

Mr. Hand reminded the Commission that the item before them on this item was for evaluation of the use and not the proposed construction. He stated construction would be review and monitored by the Building Division.

In response to a comment by Mr. Ryan, Mr. Hand notified the Commission that site visits were considered ex parte communication and that if they choose to make a site visit they needed to provide notice at the next public hearing.

**Motion:** Robert Ryan made a motion to Table until the May 24, 2016, Special Meeting, to allow the Commission further time for review of the Special Exception request to allow a Kindergarten through Second Grade Private School at the property located at 2250 and 2252 East Semoran Boulevard. Motion seconded by Tony Foster. Aye votes were cast by Robert Ryan, Melvin Birdsong, Tony Foster, and Roger Simpson; nay votes were cast by James Greene, Linda Laurendeau, and Pam Toler (4-3). (Vote taken by poll.)

**LEGISLATIVE - COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT** - Chairperson Greene stated this is a request to recommend approval of the Small Scale Future Land Use amendment from Commercial (Max. 0.15 FAR) to Residential Low (0-5 du/ac) for the property owned by Gail W. Brown. Property located at 1078 South Binion Road.

Staff Presentation: Kyle Wilkes, AICP, Planner II, stated this is a request to recommend approval of the Comprehensive Plan Small Scale Future Land Use amendment from Commercial (Max. 0.15 FAR) to Residential Low (0-5 du/ac) for the property owned by Gail W. Brown. Property located at 1078 South Binion Road. The existing use is vacant land and the proposed use is a single-family residential development. The existing maximum allowable development is 1 unit and the proposed maximum allowable development is 15 units. The tract size is 3.0 +/- acres.

The applicant is requesting the City to assign a future land use designation of Residential Low (0 – 5 du/acre) to the property.

The subject property was annexed into the City of Apopka on December 21, 2005, through the adoption of Ordinance No. 1639. The proposed Small-Scale Future Land Use Amendment is being requested by the owner/applicant. Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign a Future Land Use Designation of Residential Low is compatible with the designations assigned to abutting properties. The FLUM application covers approximately 3.0 acres, of a 21.36 parcel.

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The remainder of the parcel has a Future Land Use Designation of Residential Low. The property owner intends to develop the property for single-family residential development.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report).

The existing and proposed use of the property is consistent with the Residential Low (0-5 du/ac) Future Land Use designation and the City's proposed R-1A Zoning classification. Site development cannot exceed the intensity allowed by the Future Land Use policies.

The proposed future land use change will result in an increase in the number of residential units which could be developed at the subject property. A capacity enhancement agreement with OCPS will be required prior to City Council approval of a Preliminary Development Plan for this property.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 8, 2016.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in Future Land Use from Commercial (Max. 0.10 FAR) to Residential Low (0-5 du/ac) for the 3.0 +/- portion of property owned by Gail W. Brown and located at 1078 S. Binion Road.

**Recommended Motion:** Motion to find the proposed Future Land Use amendment consistent with the Comprehensive Plan and recommend a change in Future Land Use Designation from Commercial to "City" Residential Low Density for the property owned by Gail W. Brown, subject to the information and findings in the staff report.

This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

### LAND USE REPORT

#### Relationship to Adjacent Properties:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low Suburban (0-3.5 du/ac)	A-1 (ZIP)	Timberland
East (City & County)	Agriculture (0-1 du/5 ac) & "County" Rural (0-1 du/10 ac)	A-1 (ZIP) & A-1	R-O-W & Single-family homes
South (County)	Mixed Use	A-1 (ZIP)	Single-family home
West (City)	Residential Low (0-5 du/ac)	A-1 (ZIP)	Vacant

#### Land Use Analysis

The general character of the area surrounding the subject property is compatible with the development of residential uses. The property lies west of S. Binion Road and north of Boy Scout Road.

Wekiva River Protection Area: No  
Area of Critical State Concern: No  
DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within "Western Beltway Corridor Area" of the JPA.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the character of the Property: The Property fronts S. Binion Rd. The vegetative communities present are urban; the soils present are Candler fine sand; and no wetlands occur on the site, and the terrain has a 5-12 percent slope.

The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.e Residential Low Future Land Use designation.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the Property is Residential Low (0-5 du/ac). Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population.

**CALCULATIONS:**

ADOPTED (City designation): 1 Unit(s) x 2.659 p/h = 2 persons

PROPOSED (City designation): 15 Unit(s) x 2.659 p/h = 39 persons

Housing Needs: This amendment will negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Potable Water, Reclaimed Water & Sanitary Sewer Analysis: The subject property is located within the Orange County Utilities service area for potable water, reclaimed water and sanitary service. The property owner will need to provide a letter from Orange County Utilities demonstrating available capacity prior to submittal of any development plan.

Sanitary Sewer Analysis

Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita; 81 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

Projected total demand under existing designation: 196 GPD

Projected total demand under proposed designation: 2940 GPD

Capacity available: Yes

Projected LOS under existing designation: 81 GPD/Capita

Projected LOS under proposed designation: 81 GPD/Capita

Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

Facilities serving the site; current LOS; and LOS standard: City of Apopka; 177 GPD/Capita; 177 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

Projected total demand under existing designation: 210 GPD

Projected total demand under proposed designation: 3150 GPD

Capacity available: Yes

Projected LOS under existing designation: 177 GPD/Capita

Projected LOS under proposed designation: 177 GPD/Capita

Improved/expansions already programmed or needed as a result of the proposed amendment: None

Parcel located within the reclaimed water service area: Yes

Solid Waste

Facilities serving the site: City of Apopka

If the site is not currently served, please indicate the designated service provider: City of Apopka

Projected LOS under existing designation: 4 lbs./person/day

Projected LOS under proposed designation: 4 lbs./person/day

Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 21,981 mil. GPD

Total design capacity of the water treatment plant(s): 33,696 mil. GPD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

Facilities serving the site: None

Projected LOS under existing designation: 100 year - 24 hour design storm

Projected LOS under proposed designation: 100 year - 24 hour design storm

Improvement/expansion: On-site retention/detention pond

Recreation

Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita

Projected facility under existing designation: 0.144 AC

Projected facility under proposed designation: 0.177AC

Improvement/expansions already programmed or needed as a result of the proposed amendment:  
None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Jimmy Dunn, June Engineering Consultants, Inc., 32 W. Plant Street, Winter Garden, stated that they were in agreement with staff and he was available to answer any questions the Commission may have.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

**Motion:**        **Robert Ryan made a motion to find the application consistent with the Apopka Comprehensive Plan and the Land Development Code; and to recommend approval of the Small Scale Future Land Use Amendment from Commercial (Max. 0.15 FAR) to Residential Low (0-5 du/ac) for the property owned by Gail W. Brown and located at 1078 South Binion Road; and Melvin Birdsong seconded the motion. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Linda Laurendeau, Roger Simpson, and Pam Toler (7-0). (Vote taken by poll.)**

**QUASI-JUDICIAL - CHANGE OF ZONING – GAIL W. BROWN** – Chairperson Greene stated this is a request to recommend approval of the Change of Zoning from “County” A-1 (ZIP) to “City” R-1A (Residential) for property owned by Gail W. Brown, and located at 1078 South Binion Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. None.

Staff Presentation: Mr. Wilkes stated this is a request to recommend approval of the Change of Zoning from “County” A-1 (ZIP) to “City” R-1A (Residential) for property owned by Gail W. Brown and located at 1078 South Binion Road. The existing use is vacant land. The proposed use is a single-family residential development. The existing maximum allowable development is 1 dwelling unit and the proposed maximum allowable development is 9 dwelling units. The tract size is 3.0 +/- acres.

Presently, the subject property has not yet been assigned a “City” zoning category. The applicant is requesting the City to assign a zoning classification of R-1A to the property.

The subject property was annexed into the City of Apopka on December 21, 2005, through the adoption of Ordinance No. 1639.

A request to assign a change of zoning to R-1A is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The property owner is requesting the R-1A zoning classification to accommodate the use of the property for a single-family residential development. (The change of zoning request is being processed in conjunction with a future land use amendment for a Residential Low future land use map designation (0-5 du/ac.) The proposed use is consistent with the proposed Residential Low FLUM designation and compatible with the general character of surrounding zoning and uses.

The change of zoning application covers approximately 3.0 +/- acres.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Zoning Report).

The existing and proposed use of the property is consistent with the proposed Residential Low (0-5 du/ac) Future Land Use designation and the City’s proposed R-1A Zoning classification. Site development cannot exceed the intensity allowed by the Future Land Use policies.

The proposed future land use change will result in an insignificant increase (less than 9) in the number of residential units which could be developed at the subject property. Therefore, the three acres are exempt from school capacity enhancement per the School Interlocal Planning Agreement.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 8, 2016.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in zoning from “County” A-1 (ZIP) to “City” R-1A (Residential) for the property owned by Gail W. Brown at 1078 S. Binion Rd.

Recommended Motion: Motion to find the proposed rezoning consistent with the Comprehensive Plan and Land Development Code and to recommend change of zoning from “County” A-1 (ZIP) to “City” R-1A (residential)

This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.



## ZONING REPORT

### Relationship to Adjacent Properties:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low Suburban (0-3.5 du/ac)	A-1 (ZIP)	Timberland
East (City & County)	“City” Agriculture (0-1 du/5 ac) & “County” Rural (0-1 du/10 ac)	A-1 (ZIP) & A-1	R-O-W & Single-family homes
South (County)	Mixed Use	A-1 (ZIP)	Single-family home
West (City)	Residential Low (0-5 du/ac)	A-1 (ZIP)	Vacant

Land Use & Traffic Compatibility: The subject property fronts and is accessed by a county collector (S Binion Road).

Comprehensive Plan Compliance: The proposed R-1A zoning is consistent with the proposed Residential Low (0-5 du/ac) Future Land Use designation and with the character of the surrounding area and future proposed development. The proposed R1-A zoning classification is one of the acceptable zoning categories allowed within the Residential Low Future Land Use category. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

### R-1A District Requirements:

Minimum Living Area:	1,600
Minimum Site Area:	10,000 sq. ft.
Minimum Lot Width	85 ft.
Setbacks:	
Front:	25 ft.
Rear:	20 ft.
Side:	10 ft.
Corner	25 ft.

Based on the above zoning standards, the subject parcels comply with code requirements for the R-1A district.

Bufferyard Requirements: (1.) Developments shall provide a minimum six-foot high brick, stone or decorative block finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard. Landscape materials shall be placed adjacent to the right-of-way, on the exterior of the buffer wall. The city may allow the developer the option to provide up to 50 percent of the buffer wall length in a six-foot wrought iron fence between solid columns. The columns shall be a minimum of 32 feet off-set and shall have a stone, brick or decorative block finish. Where wrought iron is used, additional landscape materials and irrigation may be required. This will be determined by the city on a case-by-case basis. (2.) Areas adjacent to agricultural districts or activities shall provide a minimum five-foot bufferyard and a minimum six-foot high brick, stone or decorative block finished wall unless acceptable alternatives are submitted for approval.

Allowable Uses: Single-family dwellings and their customary accessory structures and uses in accordance with article VII of this code. Supporting infrastructure and public facilities of less than five acres as defined in this code and in accordance with section 2.02.01. Supporting infrastructure and public facilities of less than five acres as defined in this code and in accordance with section 2.02.01.

Petitioner Presentation: None.

Affected Party Presentation: None.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

**Motion:** Tony Foster made a motion to find the application consistent with the Apopka Comprehensive Plan and Land Development Code, and recommend adoption of the change of zoning from “County” A-1 (ZIP) to “City” R-1A (Residential) for the property owned by Gail W. Brown and located at 1078 South Binion Road. Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Linda Laurendeau, Roger Simpson, and Pam Toler (7-0). (Vote taken by poll.)

**QUASI-JUDICIAL - CHANGE OF ZONING – JTD LAND AT ROGERS ROAD, LLC** – Chairperson Greene stated this is a request to recommend approval of the Change of Zoning from “County” A-1 (ZIP) to “City” R-1 (Residential) for the property owned by JTD Land at Rogers Road, LLC, and located north of Lester Road, east of Rogers Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak.

Eric Palank, 1769 Water Rock Drive, Apopka, stated that he lives adjacent to this property and is concerned regarding traffic impacts to his neighborhood.

The Commission unanimously agreed that Mr. Palank was an affected party.

Mr. Hand swore-in Mr. Palank.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. None.

Staff Presentation: Mr. Wilkes stated this is a request to recommend approval of the Change of Zoning from “County” A-1 (ZIP) to “City” R-1 (Residential) for property owned by JTD Land at Rogers Road, LLC, and located north of Lester Road, east of Rogers Road. The existing use is vacant land. The proposed use is a single-family residential development. The existing maximum allowable development is 122 Units and the proposed maximum allowable development is 106 units. The tract size is 30.5 +/- acres.

Presently, the subject property has not yet been assigned a “City” zoning category. Applicant is requesting the City to assign a zoning classification of R-1 (Residential) to the property.

The subject parcels were annexed into the City of Apopka on December 2, 2015, through Ordinances 2459. The proposed change of zoning is being requested by the owner/applicant.

A request to assign a change of zoning to R-1 (Residential) is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The property owner is requesting the R-1 (Residential) zoning classification to accommodate the use of the property for a single-family residential development. This change of zoning application is being processed in conjunction with a large scale future land use amendment for Residential Low Suburban (0-3.5 du/ac). The proposed use is consistent with the existing future land use, proposed zoning district and compatible with the general character of surrounding zoning and uses.

The change of zoning application covers approximately 30.5 acres.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Zoning Report).

The existing and proposed use of the property is consistent with the Residential Low Suburban (0-2 du/ac) Future Land Use designation and the City's proposed R-1 (Residential) Zoning classification. Site development cannot exceed the intensity allowed by the Future Land Use policies.

A Capacity Enhancement Agreement or a letter must be obtained from Orange County Public Schools prior to City Council approval of a Preliminary Development Plan for the residential subdivision.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on November 9, 2015.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in zoning from "County" A-1 (ZIP) to "City" R-1 (Residential) for the property owned by JTD Land at Rogers Road LLC.

Recommended Motion: Find the change of zoning to "City" R-1 (Residential) consistent with the Comprehensive Plan and Land Development Code and recommend adoption subject to adoption of the Proposed Future Land Use Designation.

This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

## ZONING REPORT

### Relationship to Adjacent Properties:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low Suburban (0-3.5 du/ac)	R-1AAA	Vacant
East (City)	Residential Low Suburban (0-3.5 du/ac)	PUD & R-1AAA	Vacant
South (City)	Residential Low Suburban (0-3.5 du/ac)	R-1	Single-family homes (Lester Ridge)
West (City and County)	Residential Low Suburban (0-3.5 du/ac) & "County" Rural (0-1 du/10 ac)	"City" R-1AA & "County" A-1	Single-family homes and vacant

Land Use & Traffic Compatibility: The subject property fronts and is accessed by a local roadway (Rogers Road).

Comprehensive Plan Compliance: The proposed R-1 (Residential) zoning is consistent with the City's Residential Low Suburban (0-3.5 du/ac) Future Land Use designation and with the character of the surrounding area and future proposed development. The R-1 (Residential) zoning classification is one of the acceptable zoning categories allowed within the Industrial Future Land Use Designation. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

R-1 District Requirements:

Minimum Living Area:	1,500 sq. ft.
Minimum Site Area:	8,000 sq. ft.
Minimum Lot Width	75 ft.
Setbacks:	
Front:	25 ft.
Rear:	20 ft.
Side:	10 ft.
Corner	25 ft.

Based on the above zoning standards, the subject parcels comply with code requirements for the R-1 (Residential) district.

Bufferyard Requirements: (1.) Developments shall provide a minimum six-foot high brick, stone or decorative block finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard. Landscape materials shall be placed adjacent to the right-of-way, on the exterior of the buffer wall. The city may allow the developer the option to provide up to 50 percent of the buffer wall length in a six-foot wrought iron fence between solid columns. The columns shall be a minimum of 32 feet off-set and shall have a stone, brick or decorative block finish. Where wrought iron is used, additional landscape materials and irrigation may be required. This will be determined by the city on a case-by-case basis; and (2.) Areas adjacent to agricultural districts or activities shall provide a minimum five-foot bufferyard and a minimum six-foot high brick, stone or decorative block finished wall unless acceptable alternatives are submitted for approval.

Allowable Uses: Single-family dwellings and their customary accessory structures and uses in accordance with article VII of this code. Supporting infrastructure and public facilities of less than five acres as defined in this code and in accordance with section 2.02.01.

Petitioner Presentation: James H. McNeil, Jr., Esq., Akerman Law Firm, 420 South Orange Avenue, Suite 1200, Orlando, stated he was available to answer any questions.

Affected Party Presentation: Mr. Palank expressed his concerns regarding Rogers Road being a one-lane road with no sidewalks on either side. He said that when he takes his baby for a walk he has to push the stroller in the grass to avoid the road. Additionally, there has been some confusing information regarding property lines.

Mr. Moon stated that currently Rogers Road is an Orange County road. Once development occurs on either side the road will be transferred to the City. Responsibility for widening or maintaining the road at that point will be up to the City. Additionally, a proposed future plan is to extend Rogers Road to Ponkan Road. He added that the proposed single family residential subdivision lot sizes are consistent with the surrounding area with zoning requirements equal to or greater than the adjacent subdivision. The next step in the process is for the application to submit a preliminary development plan that will be presented to the Planning Commission for review.

Mr. McNeil requested Mr. Palank's contact information so that they can meet to discuss and clarify the property line information.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

**Motion:** Pam Toler made a motion to find the application consistent with the Apopka Comprehensive Plan and Land Development Code, and recommend adoption of the change of zoning request from “County” A-1 (ZIP) to “City” R-1 (Residential) for the property owned by JTD Land at Rogers Road, LLC, and located north of Lester Road, east of Rogers Road, subject to the adoption of the Large Scale Future Land Use Amendment. Motion seconded by Melvin Birdsong. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Linda Laurendeau, Roger Simpson, and Pam Toler (7-0). (Vote taken by poll.)

**OLD BUSINESS:** None.

**NEW BUSINESS:** Mr. Foster encouraged the audience to guard how they present their opinions and views so as to not discourage new businesses.

**ADJOURNMENT:** The meeting was adjourned at 6:49 p.m.

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James Greene, Chairperson

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Mark Reggentin, AICP  
Community Development Director

**Backup material for agenda item:**

1. SPECIAL EXCEPTION – Miracle Grace Academy – The property is owned by Wekiva Corners, Inc.; the applicant is Miracle Grace Academy; and the property is located at 2250 & 2252 East Semoran Boulevard.



## CITY OF APOPKA PLANNING COMMISSION

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<input checked="" type="checkbox"/> PUBLIC HEARING	MEETING OF:	May 24, 2016
<input type="checkbox"/> SPECIAL REPORTS	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Vicinity Map
<input type="checkbox"/> OTHER:		Adjacent Zoning Map
		Adjacent Uses Map
		Existing Uses Map

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**SUBJECT: MIRACLE GRACE ACADEMY SPECIAL EXCEPTION**

**Parcel ID Number: 12-21-28-0000-00-014**

**Request: APPROVE THE SPECIAL EXCEPTION TO ALLOW A KINDERGARTEN THROUGH SECOND GRADE PRIVATE SCHOOL WITHIN A PROPERTY ASSIGNED A COMMERCIAL ZONING CATEGORY OF C-1.**

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**SUMMARY:**

OWNER: Wekiva Corners Inc.

APPLICANT: Miracle Grace Academy

LOCATION: 2250 & 2252 E Semoran Boulevard

LAND USE: Commercial (max 0.25 FAR)

ZONING: C-1 (Retail Commercial)

EXISTING USE: Retail shopping center

PROPOSED USE: Private Kindergarten through Second Grade school not to exceed 50 students or 5,000 sq. ft. in size.

TRACT SIZE: 5.29 +/- acres

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**DISTRIBUTION:**

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	

**STAFF REPORT:** Within the C-1 (Retail Commercial) zoning category, a school is a special exception use requires Planning Commission action. The current application requests to use the commercial tenant space at 2250 and 2252 East Semoran Blvd. (Wekiva Corners shopping center) for a kindergarten through second grade private school with an anticipated enrollment of 25 to 35 students.

The property is presently assigned a Future Land Use Designation of “Commercial” and a zoning category of C-1 (Retail Commercial). School and institutional uses are allowed as a Special Exception in the C-1 zoning district per Section 2.02.02B.5.d of the Land Development Code, provided the use will not create adverse circumstances affecting the health, safety, and general welfare of the public.

- A. Relationship to Adjacent Properties: Zoning and existing land use assigned to adjacent and nearby properties appears in the attached exhibits. The character of the area surrounding the subject property is described as follows:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Commercial (max 0.25 FAR)	C-1	Sonny’s BBQ/Wells Fargo
East (City)	Commercial (max 0.25 FAR)	C-1	Muffler Man
South (City)	Residential High (0-15 du/ac)	PUD	Oasis at Wekiva Apartments
West (City)	Commercial (max 0.25 FAR)	C-1	Retail Commercial (Stinson Center)

- B. Special Exception Development Standards. Article II of the Land Development Code establishes development standards specific to special exceptions. These standards are intended to reduce any impacts from the proposed special exception use on adjacent properties.

- C. Special Exception Conditions of Use.

1. The number of kindergarten through second grade students (full-time equivalent) shall not exceed 50.
2. The total floor area of the proposed private school shall not exceed 5,000 sq. ft., all floor area of the school shall be contiguous, and access to all classrooms shall occur from internal to the building.
3. No outdoor activities related to this proposed special exception use shall occur except for such activities authorized through a special event permit approved by the City.
4. The Special Exception Use only applies to land contained within Parcel No. 12-21-28-0000-00-014 as of the date of the adoption hearing.
5. This Special Exception authorization expires if (a) the applicant fails to obtain a certificate of occupancy or a business tax receipt within two years from the date of the Special Exception approval; and (b) the Special Exception Use has vacated the parcel for more than 180 consecutive days.

**DULY ADVERTISED:**

April 22, 2016 - Public Hearing Notice



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**RECOMMENDED ACTION:**

The **Development Review Committee** recommends approval of the Miracle Grace Academy Special Exception to allow a private Kindergarten through Second Grade school not to exceed 50 students or 5,000 sq. ft. floor area in size within a C-1 zoning district subject to the special exception conditions within the Staff Report.

The **Planning Commission**, at its meeting on May 10, 2016, Tabled (4/3) the Special Exception request from Miracle Grace Academy until the May 24, 2016 meeting to allow the Planning Commission further time to review the special exception request.

**Recommended Motion:** Approve the Miracle Grace Academy Special Exception Use to allow a private Kindergarten through Second Grade subject to the Special Exception Conditions of Use.

**Planning Commission Role** - Pursuant to the City of Apopka Code of Ordinances, Part III, Land Development, Article XI, Section 11.05.D.1 the Planning Commission has the authority to take final action on a special exception application. Therefore, the Planning Commission may approve, deny or approve with conditions this application. An applicant may appeal the Planning Commission action to the City Council.



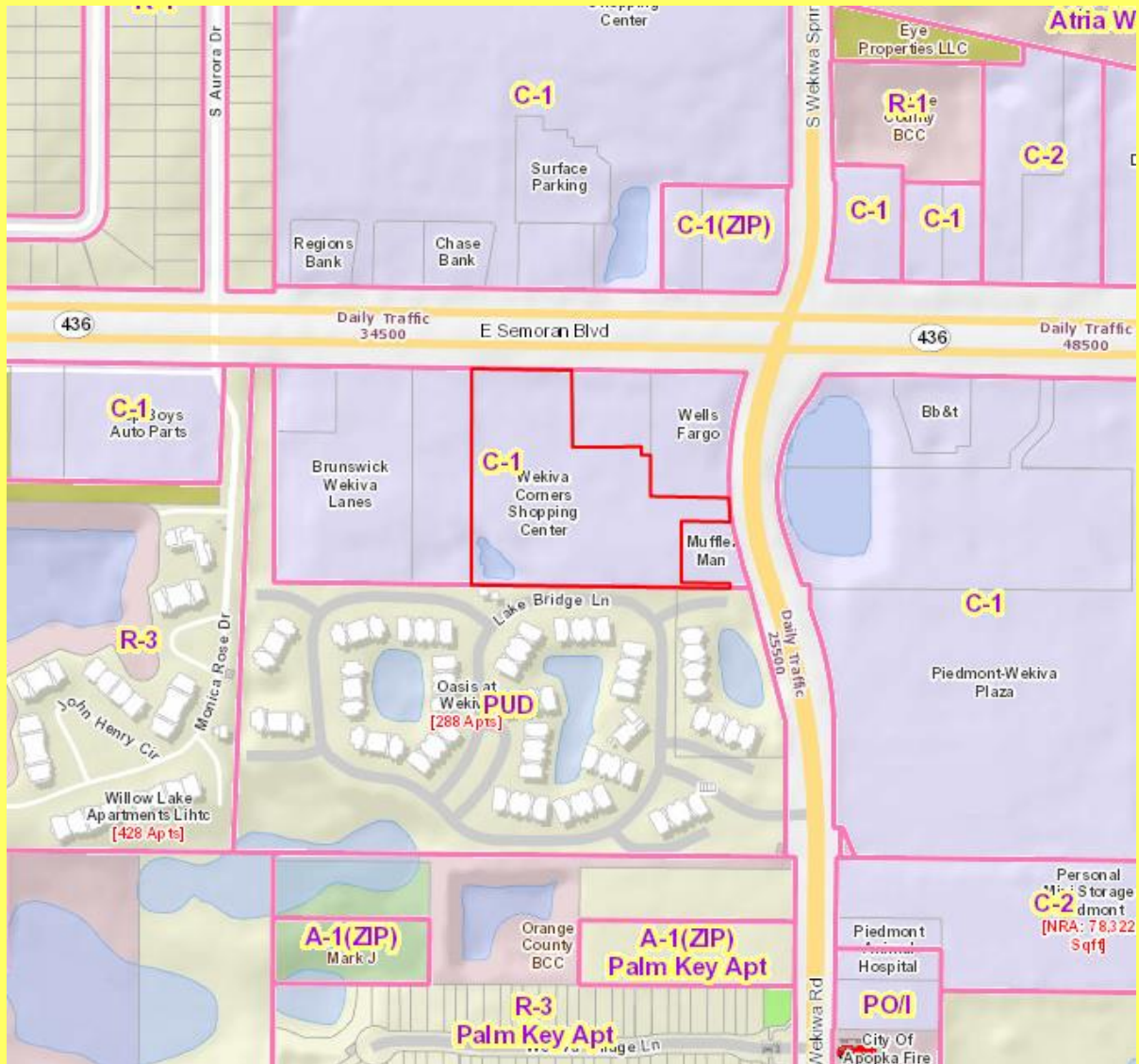
**Miracle Grace Academy**  
Proposed Special Exception  
To allow a private Kindergarten – Second Grade school  
Located on property assigned a Commercial Land Use Designation  
5.92 +/- Acres  
Parcel ID #: 12-21-28-0000-00-014

**VICINITY MAP**





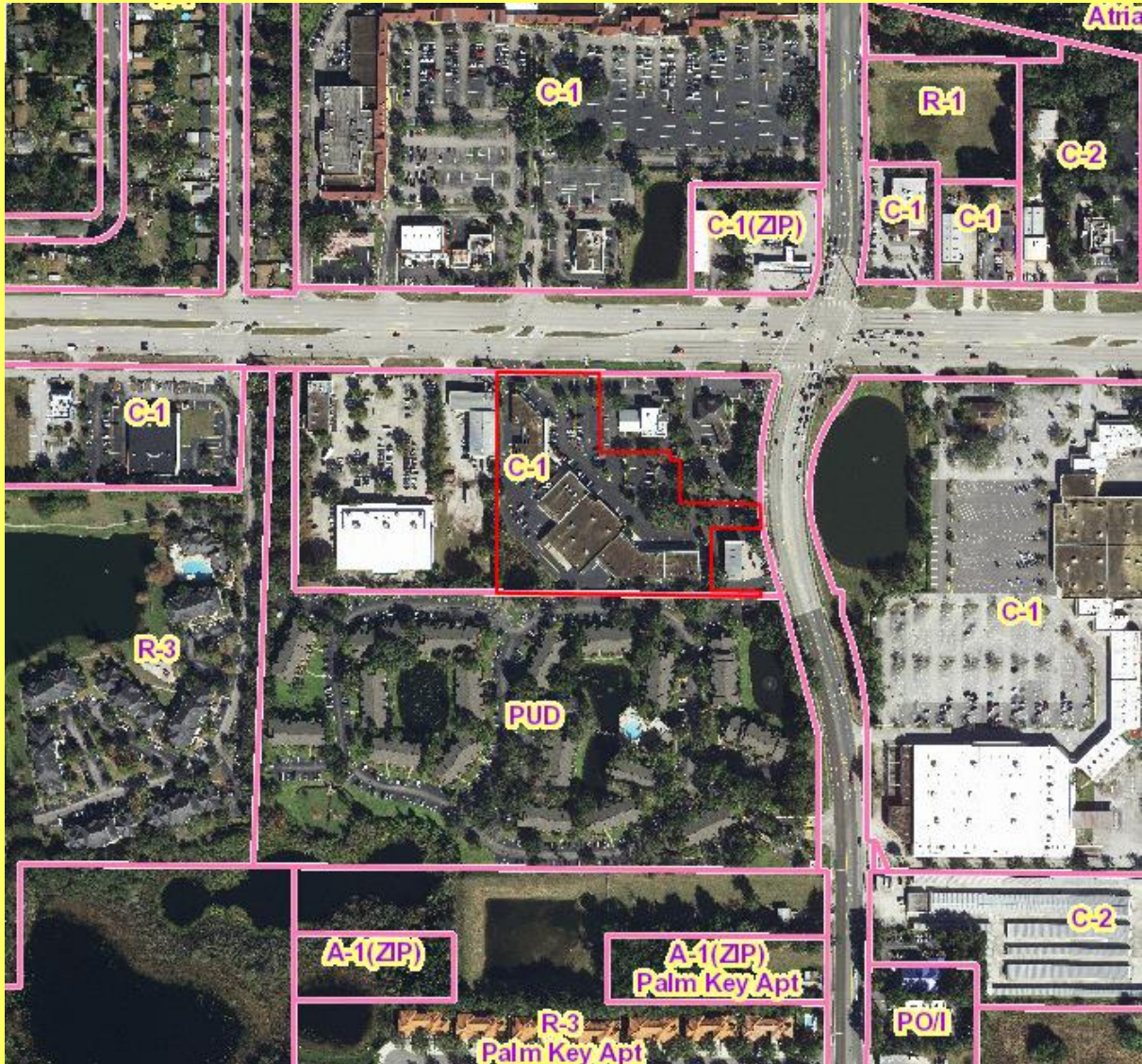
## ADJACENT ZONING MAP







ADJACENT USES







## EXISTING USES



**Backup material for agenda item:**

1. MASS GRADING PLAN – Wekiva Parkway Industrial Park – Owned by Mid-Florida Freezer Warehouse, Ltd.; applicant and engineering firm is June Engineering Consultants, Inc., the property is located south of General Electric Road, east of Hermit Smith Road, and west of the Western Beltway (S.R. 429). (Parcel ID Nos.: 01-21-27-0000-00-030; 01-21-27-0000-00-060; 06-21-28-7172-12-060; 06-21-28-7172-13-000; 12-21-27-000-00-010; 12-21-27-0000-00-018) (136.89 +/- acres – Area of Excavation)



## CITY OF APOPKA PLANNING COMMISSION

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<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	May 24, 2016
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Vicinity Map
<input checked="" type="checkbox"/> OTHER: Mass Grading Plan		Mass Grading Plan
		Haul Route

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**SUBJECT:**                      **MASS GARDING PLAN – WEKIVA PARKWAY INDUSTRIAL PARK**

**Request:**                      **RECOMMEND APPROVAL OF THE MASS GRADING PLAN FOR WEKIVA PARKWAY INDUSTRIAL PARK FINAL DEVELOPMENT PLAN**

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### **SUMMARY**

OWNERS:                      Mid-Florida Freezer Warehouse, LTD.

APPLICANT:                      June Engineering Consultants, Inc.

ENGINEER:                      June Engineering Consultants, Inc., c/o Jeffrey A. Sedloff, P.E.

LOCATION:                      South of General Electric Road, east of Hermit Smith Road and west of the Western Beltway (S.R. 429)

EXISTING USE:                      Vacant Land

FUTURE LAND USE:                      Industrial

CURRENT ZONING:                      I-1 Industrial

PROPOSED DEVELOPMENT:                      Industrial Park and Mass Grading Plan for Final Development Plans

TRACT SIZE:                      140.47 +/- Acres

AREA OF EXCAVATION:                      136.89 +/- Acres

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### **DISTRIBUTION**

Mayor Kilshiemer  
Commissioners (4)  
City Administrator Irby  
Community Dev. Director

Finance Director  
HR Director  
IT Director  
Police Chief

Public Ser. Director  
City Clerk  
Fire Chief

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Industrial	I-1	Industrial Warehouse
East (City)	Industrial	I-1	Industrial Warehouse/S.R. 429
South (City)	Mixed Use	M-EC	Vacant land
South (County)	Rural	A-1	Vacant land
West (City)	Industrial/Mixed Use/RVLS	I-1/M-EC/R-1AA	Trucking Site/ Vacant Land

**ADDITIONAL COMMENTS:** The proposed mass grading plan for the proposed Wekiva Parkway Industrial Park project allows site grading to occur consistent with the ground elevations and contours established within the Final Development Plan. All required permits from the St. Johns Water Management District and other state agencies must be obtained by the applicant prior to commencing any grading activities.

**HAUL ROUTE:** General Electric Road west to Hermit Smith Road north to Orange Blossom Trail or General Electric Road east to West Orange Ave north to Orange Blossom Trail to Keene Road; as illustrated on Sheet 20 of the Mass Grading Plan.

**PHASING AND RESTORATION PLAN:** Clearing and grading of site will occur according to the Phasing Plan established within the Mass Grading Plan. Clearing and grading shall occur one phase at a time for the six planned phases. Each phase must be stored (i.e., revegetated prior to commencing clearing and grading activity on the next phase.)

**ENVIRONMENTAL:** A habitat management plan was submitted by the applicant. Based on the results of this study, the developer must obtain approval from the Florida Department of Environmental Protection prior to commencing any grading or further site construction activity.

**TREE PROGRAM:** The applicant will be required to demonstrate the site meets this tree stock requirement on the final development plan or contribute into the tree bank mitigation program, if applicable. Payment will occur at a phase-by-phase basis prior to commencing any clearing or grading activity.

Total inches on-site:	38,771
Total number of specimen trees:	124
Total inches removed:	35,784
Total inches retained:	2,863
Total inches required:	20,869
Total inches replaced:	0
Total inches post development:	2,863
Tree inches Deficit	18,006

The City's Land Development Code and Tree Bank policy permit the applicant to make a contribution to the City's Tree Bank to mitigate the remaining deficient tree inches at \$10.00 per inch. The total amount required to be paid into the Tree Bank is estimated at \$108,060 dollars.



**CONDITIONS OF APPROVAL**

1. A development agreement must be approved by City Council and recorded prior to any clearing or grading activity.
2. Preliminary Development Plan must be approved by the City Council and remain in effect. If the Preliminary Development Plan expires, the Mass Grading Plan will expire.

**PUBLIC HEARING SCHEDULE:**

May 24, 2016 – Planning Commission (5:30 pm)

June 15, 2015 – City Council (7:00 pm)

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**RECOMMENDED ACTION:**

The **Development Review Committee** recommends approval of the Wekiva Parkway Industrial Park - Grading Plan for the property owned by Mid-Florida Freezer, LTD subject to the Conditions of Approval.

**Planning Commission Recommendation:** The role of the Planning Commission for this development application is to advise the City Council to approve, deny or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

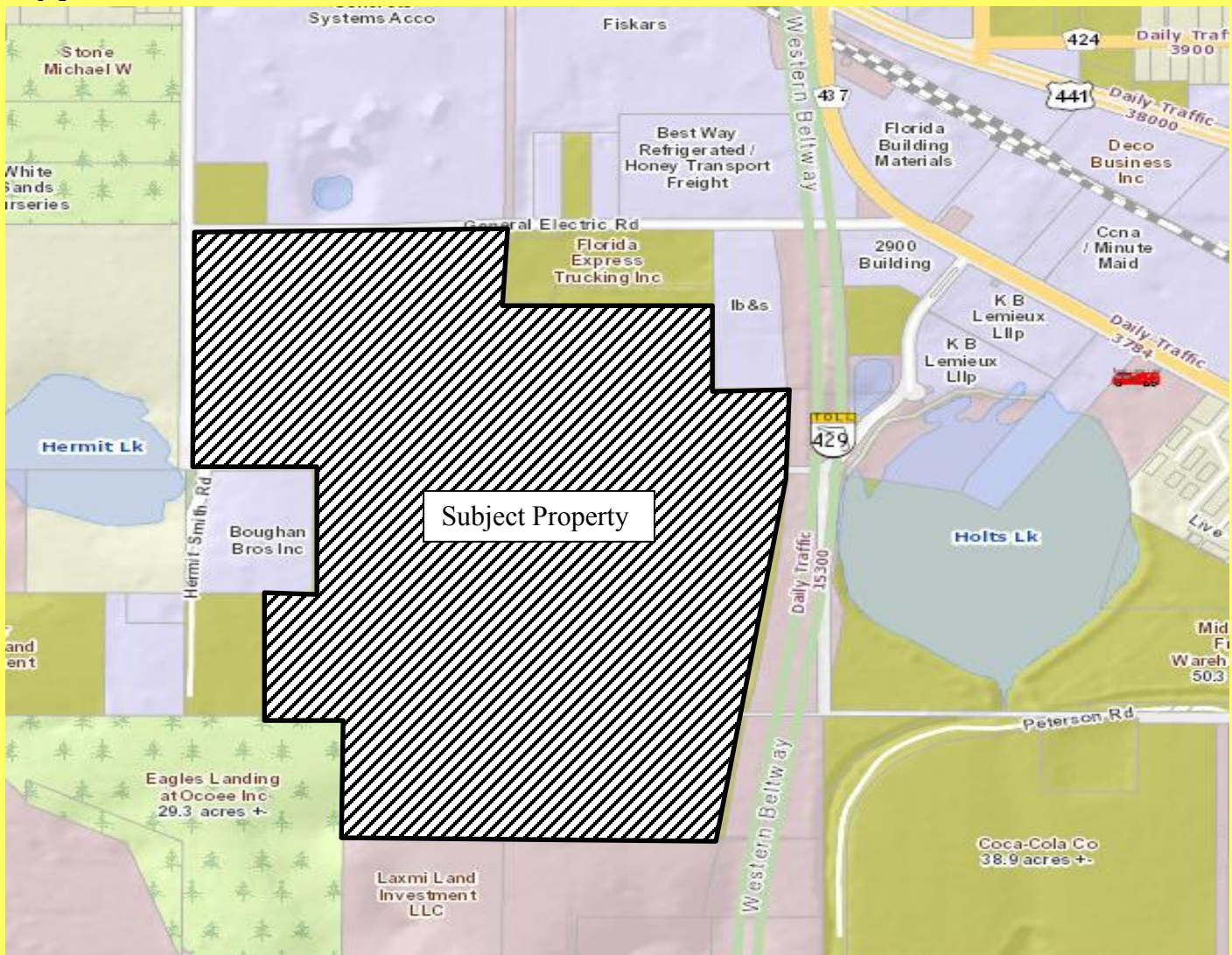
Recommend approval of the Mass Grading Plan for the Wekiva Parkway Industrial Park for property owned by Mid-Florida Freezer, LTD. Subject to the Conditions of Approval.

**Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.**

**Application:** Wekiva Parkway Industrial Park Preliminary Development Plan  
**Owner:** Mid Florida Freezer Warehouse, LTD  
**Applicant:** June Engineering, Inc.  
**Engineer:** Jeffrey A. Sedloff, P.E.  
**Parcel ID No.s:** 01-21-27-0000-00-030, 01-21-27-0000-00-060, 06-21-28-7172-12-060,  
06-21-28-7172-13-000, 12-21-27-000-00-010 & 12-21-27-0000-00-018  
**Total Acres:** 140.47 +/-



## VICINITY MAP





## Aerial Map





# WEKIVA PARKWAY INDUSTRIAL PARK

## MASS GRADING OF

## FINAL DEVELOPMENT

## PLANS

DESCRIPTION:

PARCEL 01-21-27-0000-00-060

THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER IN SECTION 1, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LESS ROAD RIGHT OF WAY.

PARCEL 01-21-27-0000-00-030

THE EAST 3/4 OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, LESS THE WEST 200 FEET OF THE NORTH 660 FEET AND LESS THE SOUTH 30 FEET FOR RIGHT-OF-WAY, SECTION 1, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA

PARCEL 06-21-28-7172-12-060

LOTS 2, 3, 4, 5, 6, 7, AND 9 OF BLOCK L, TOWN OF PLYMOUTH, AS PER RECORDED PLAT IN PLAT BOOK B, PAGES 17-18, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 06-21-28-7172-13-000

ALL OF BLOCK "M", TOWN OF PLYMOUTH, AS PER RECORDED PLAT THEREOF RECORDED IN PLAT BOOK "B", PAGES 17-18, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 12-21-27-0000-00-010

THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, LESS THE NORTH 30 FEET FOR RIGHT-OF-WAY, SECTION 12, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

PARCEL 12-21-27-0000-00-018

THE NORTH HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER, SECTION 12, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

LYING WEST OF STATE ROAD 429 (WESTERN BELTWAY)



Location Map

Parcel ID Number: 01-21-27-0000-00-030; 01-21-27-0000-00-060; 06-21-28-7172-12-020; 06-21-28-7172-12-060; 06-21-28-7172-13-000; 12-21-27-0000-00-010; 12-21-27-0000-00-018

Future Land Use: Industrial

Zoning: Industrial (I-1)

Adjacent Land Use: North: IND, East: IND, South: IND, West: IND

Adjacent Zoning: North: I-1, East: I-1, South: I-1, West: I-1

Acreage/Square Footage: 140.47 Acres, 6,119,015.49 S.F.

Building Height: Proposed: N/A, Max: 35'

Density: Proposed: 0

Building Setbacks: Proposed: Front 25, Side 10, Rear 10, Corner 25 Required: Front 25, Side 10, Rear 10, Corner 25

Parking Spaces: Proposed 0, Required 0

Open Space: Proposed 0, Required 0

Waiver Request: N/A

Variance Request: N/A

FAR: Proposed 0, Required 60

OWNER/  
DEVELOPER: MID-FLORIDA FREEZER  
2560 W. ORANGE BLOSSOM TRAIL  
APOPKA, FL 32712 (407) 886-1971

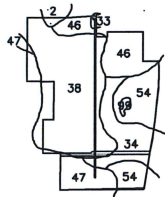
ENGINEER: JUNE ENGINEERING CONSULTANTS, INC.  
32 W. PLANT STREET  
WINTER GARDEN, FL 34787 (407) 905-8180

SURVEYOR: BISHMAN SURVEYING & MAPPING  
32 W. PLANT STREET  
WINTER GARDEN, FL 34787 (407) 905-8877

GEOTECHNICAL  
ENGINEER: ECS FLORIDA, LLC  
2815 DIRECTORS ROW, SUITE 500  
ORLANDO, FL 32809 (407) 859-8378

ENVIRONMENTAL  
CONSULTANT: BIO-TECH CONSULTING, INC.  
2002 E. ROBINSON STREET  
ORLANDO, FL 32803 (407) 894-5969

INDEX OF SHEETS	
SHEET TITLE	No.
Cover Sheet	1
Overall Mass Grading Plan	2
Mass Grading Plans	3-8
Mass Grading Profiles	9-10
SWPPP	11
Wetland Inventory Plan	12
Overall Tree & Landscape	13
Tree & Landscape Plans	14-19
Haul Route Plan	20
Reclamation Plan	21



- 2 Archbold Fine Sand, 0 to 5 Percent Slopes
- 33 Pits
- 34 Pomello Fine Sand, 0 to 5 Percent Slopes
- 38 St. Lucie Fine Sand, 0 to 5 Percent Slopes
- 46 Tavares Fine Sand, 0 to 5 Percent Slopes
- 47 Tavares-Milhopper Fine Sands, 0 to 5 Percent Slopes
- 54 Zolfo Fine Sand
- 59 Water

### SOILS MAP

N.T.S.

PHASING PLAN:

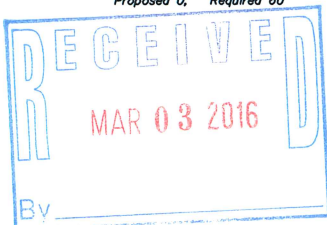
1. CLEARING AND EXCAVATION SHALL BE COMPLETED ONE PHASE AT TIME UNLESS OTHERWISE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR OR CITY ADMINISTRATOR.
2. CITY ADMINISTRATOR OR COMMUNITY DEVELOPMENT DIRECTOR MAY APPROVE PHASING CHANGES AS NECESSARY.

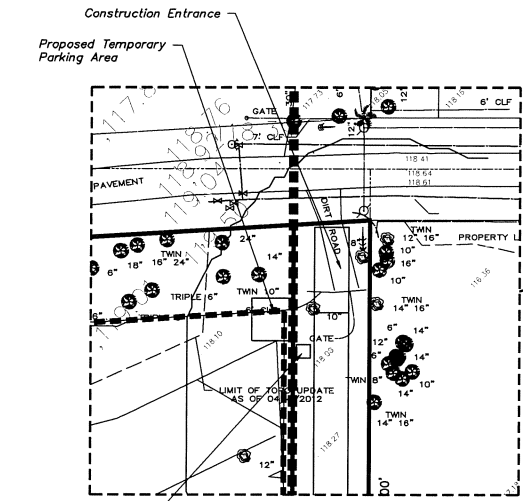
GENERAL NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH THE MOST RECENT STANDARDS & SPECIFICATIONS OF CITY OF APOPKA.
2. CONTRACTOR SHALL CONTACT ALL OWNERS OF UTILITIES, EASEMENTS AND/OR RIGHT-OF-WAYS, WHETHER THEY ARE PUBLIC OR PRIVATE, PRIOR TO COMMENCING ANY WORK ON OR OVER THE AREAS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, VEGETATION, PAVEMENT, ETC., AS NOTED ON SITE PLAN.
4. DEVELOPER SHALL CONFORM TO SFGC, 1994 EDITION, 18.106 TO WIT "DURING CONSTRUCTION, WHEN COMBUSTIBLES ARE BROUGHT ON TO THE SITE IN SUCH QUANTITIES AS DETERMINED BY THE FIRE OFFICIAL," ACCESS ROADS AND A SUITABLE TEMPORARY SUPPLY OF WATER ACCEPTABLE TO THE FIRE DEPARTMENT SHALL BE MAINTAINED. "THE STORAGE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS/GAS ON SITE SHALL COMPLY WITH THE NATIONAL FIRE PROTECTION ASSOCIATION AND APPLICABLE CODE REQUIREMENTS INSTALLATION AND STORAGE PERMITS WILL BE REQUIRED PER CITY AND STATE REQUIREMENTS."
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE A THOROUGH REVIEW OF THE SITE TO DETERMINE EXISTING CONDITIONS. ANYTHING NOT SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
6. ANY "HARD PAN", WET SOIL CONDITIONS, OR OTHER SUSPECT SOIL CONDITIONS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION SO THAT THE CONDITIONS MAY BE FURTHER INVESTIGATED.
7. ALL PRIVATE, PUBLIC PROPERTY AND PUBLIC RIGHTS-OF-WAY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, EXISTING BEFORE COMMENCEMENT OF CONSTRUCTION WORK, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF PUBLIC SAFETY, BOTH WHILE THE PROJECT IS MANAGED AND UNMANAGED, DURING THE DURATION OF THE CONSTRUCTION ACTIVITY.
9. THE CONTRACTOR IS TO EMPLOY THE BEST MANAGEMENT PRACTICES DURING THE CONSTRUCTION OF THIS SITE TO ASSURE ALL SEDIMENTS ARE RETAINED ON SITE. ROADS WILL BE CLEANED REGULARLY WITH A BRUSH SWEEPER. A WATER TRUCK IS TO BE USED ALSO AS REQUIRED.
10. SURVEY INFORMATION SHOWN WITHIN THESE PLANS IS BASED ON INFORMATION SUPPLIED BY LEADING EDGE LAND SERVICES, & BISHMAN SURVEYING AND MAPPING, JUNE ENGINEERING CONSULTANTS INC. GIVES NO GUARANTEE TO THE ACCURACY IN SUBSTANCE OR LOCATION OF SAID SURVEY INFORMATION.
11. PLAN IS SUBMITTED FOR SITE GRADING AND EXCAVATION REVIEW AND APPROVAL OF SITE IMPROVEMENTS ONLY. NO BUILDING CONSTRUCTION IS PROPOSED. EXCAVATION TO CONTINUE FOR APPROXIMATELY 48 MONTHS. THE HOURS OF OPERATION WILL BE FROM: MONDAY - FRIDAY 7:00 AM TO 5:00 PM, SATURDAY 8:00 AM - 5:00 PM AND NO WORK ON SUNDAY UNLESS APPROVED IN ADVANCE.
12. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET FORTH ON THE CITY OF APOPKA LAND DEVELOPMENT CODE AND/OR ZONING REGULATIONS AT TIME OF PLAN APPROVAL.
13. PRIOR TO CONSTRUCTION ALL LOCAL, STATE AND FEDERAL PERMITS SHALL BE APPROVED.
14. A PRE-CONSTRUCTION CONFERENCE SHALL BE REQUIRED PRIOR TO ANY WORK ON-SITE.
15. THE SILT SCREEN MUST BE CONSTRUCTED & APPROVED PRIOR TO COMMENCING WORK.
16. POTABLE WATER SHALL BE SUPPLIED BY BOTTLED WATER COMPANY.
17. SANITARY SEWER SHALL BE PORTA-JOHN SERVICED ONCE PER WEEK IF NECESSARY.
18. SOLID WASTE SHALL BE HANDLED WITH ON-SITE DUMPSTER BY CITY IF NECESSARY.
19. ALL EXCAVATION AND GRADING SHALL COMPLY WITH SECTION 5.04 MINING. PRIOR TO ANY LAND CLEARING ACTIVITIES, AN EXCAVATION PERMIT MUST BE OBTAINED FROM THE CITY. PRIOR TO THE CITY ISSUANCE OF AN EXCAVATION PERMIT, THE DEVELOPER SHALL PROVIDE TO THE CITY A COPY OF ANY REQUIRED FEDERAL, STATE OR LOCAL PERMITS.
20. BARBED WIRE FENCING SHALL BE INSTALLED. THIS IS A TEMPORARY CONDITION UNTIL THE SITE IS DEVELOPED IN THE FUTURE.
21. PRIOR TO CONSTRUCTION, AN ARBOR PERMIT AND EXCAVATION PERMIT ARE REQUIRED TO BE ISSUED BY COMMUNITY DEVELOPMENT DEPARTMENT.
22. PRIOR TO COMMENCING CLEARING AND GRADING, A PERFORMANCE BOND, LETTER OF CREDIT, OR ESCROW PAYMENT SHALL BE PROVIDED TO THE CITY AND IN AN AMOUNT EQUAL TO THE COST TO IMPLEMENT RESTORATION PLAN, INCLUDING COST TO WATER TREES FOR TWO MONTHS. THE PERFORMANCE DOCUMENT AND PAYMENT MUST BE ACCEPTED BY THE CHIEF ADMINISTRATIVE OFFICER.
23. CITY SHALL NOT ISSUE AN EXCAVATION OR ARBOR PERMIT, AND NO CLEARING OR GRADING ACTIVITIES SHALL COMMENCE UNTIL DEVELOPER OR PROPERTY OWNER SUBMITS TO THE COMMUNITY DEVELOPMENT DEPARTMENT A COPY OF ALL PERMITS OBTAINED FROM THE FLORIDA FISH AND WILDLIFE COMMISSION TO EITHER AVOID HABITAT DISTURBANCE, PRESERVE HABITAT, OR RELOCATE GOPHER TORTOISES IDENTIFIED ON THE PROJECT SITE.
24. MINING ACTIVITIES WILL CEASE IF ANY HISTORICAL ARTIFACTS ARE DISCOVERED, AND MINING OPERATOR WILL CONTACT THE STATE OF FLORIDA DIVISION OF HISTORICAL RESOURCES.
25. A LETTER MUST BE OBTAINED FROM THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSIONER (FWWC) REGARDING WILDLIFE MANAGEMENT PLAN FOR THE GOPHER TORTOISES OR OTHER IDENTIFIED SPECIES PRIOR TO ANY CONSTRUCTION ACTIVITIES OCCURRING ON SITE.

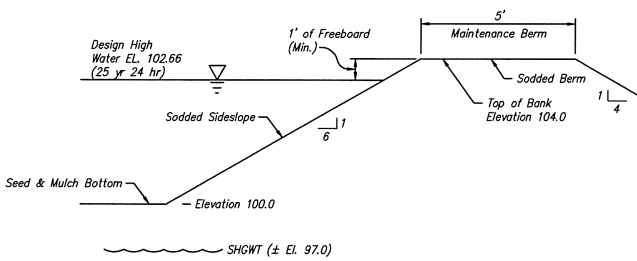
SITE DATA:

1. TOTAL ACREAGE: 140.47 AC.
2. AREA OF EXCAVATION: 136.89 AC. ±
3. TOTAL EXCAVATION: APPROX. 1,200,000 CY
4. SETBACKS FROM EACH PROPERTY LINE: 25' TO TOP OF SLOPE
5. RESTORATION AND RECLAMATION: SEED AND MULCH ALL DISTURBED AREAS
6. EXCAVATION AREA SHALL BE FENCED WITH MATERIAL APPROVED BY CITY ENGINEER.
7. NO TRESPASSING SIGNS SHALL BE POSTED EVERY 500' AROUND PERIMETER.
8. DUST CONTROL PLAN: WATER TRUCKS ARE REQUIRED. ENTRANCE TO BE CLEANED W/ POWER SWEEPER.
9. EXISTING ZONING: INDUSTRIAL
10. FUTURE LAND USE: INDUSTRIAL
11. MIN. SETBACK AT EXTERIOR: 25' @ ROAD R/W, 25' AT ADJACENT PROPERTY LINES AS SHOWN.
12. NUMBER OF EMPLOYEES: 2

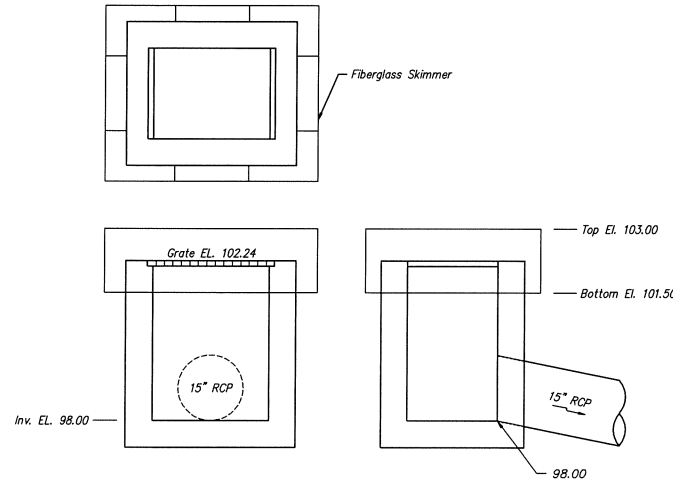




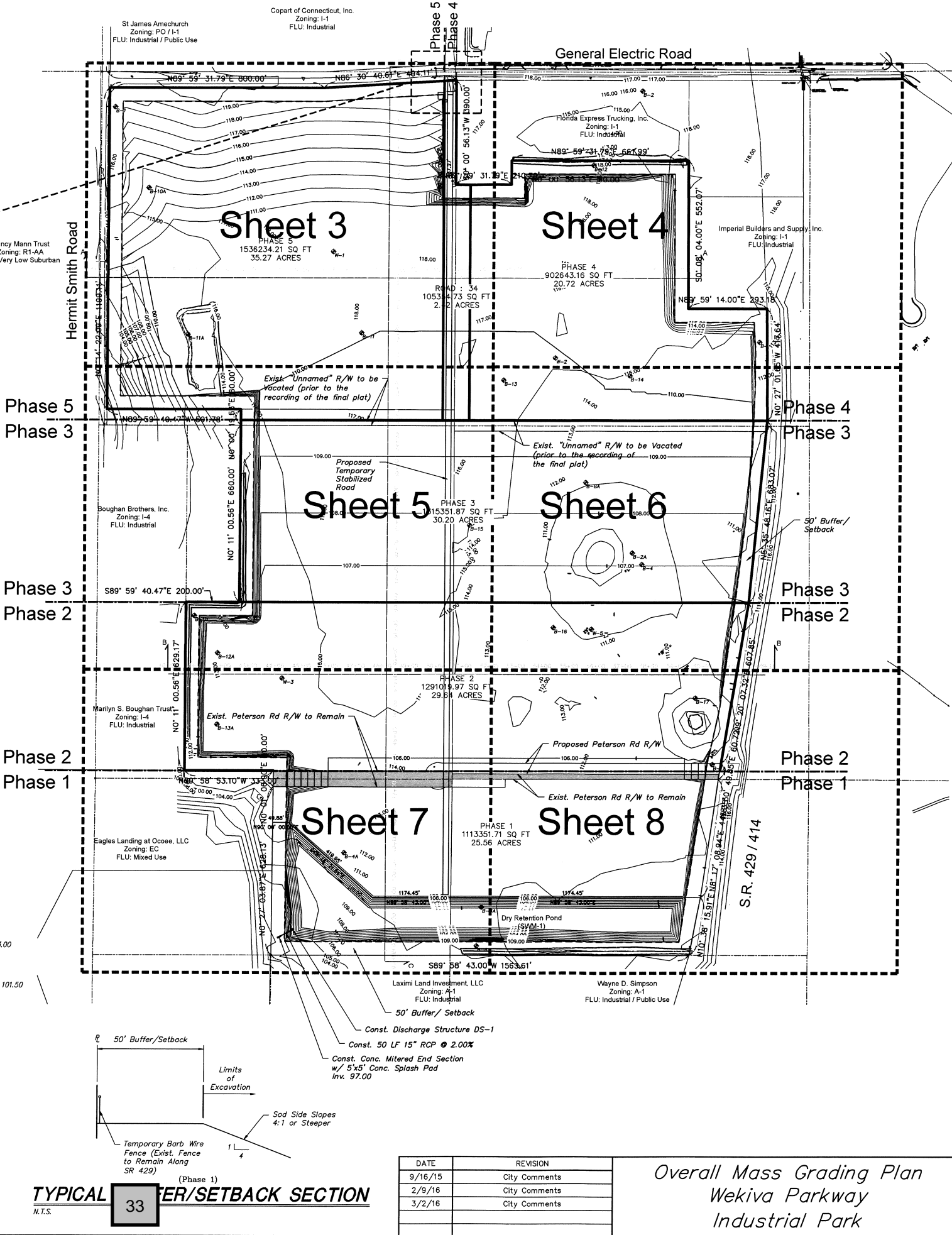
ENTRANCE DETAIL  
Scale: 1" = 50'



TYPICAL DRY POND SECTION  
N.T.S.



DISCHARGE STRUCTURE 'DS-1'  
N.T.S.



TYPICAL BUFFER/SETBACK SECTION  
N.T.S.

DATE	REVISION
9/16/15	City Comments
2/9/16	City Comments
3/2/16	City Comments

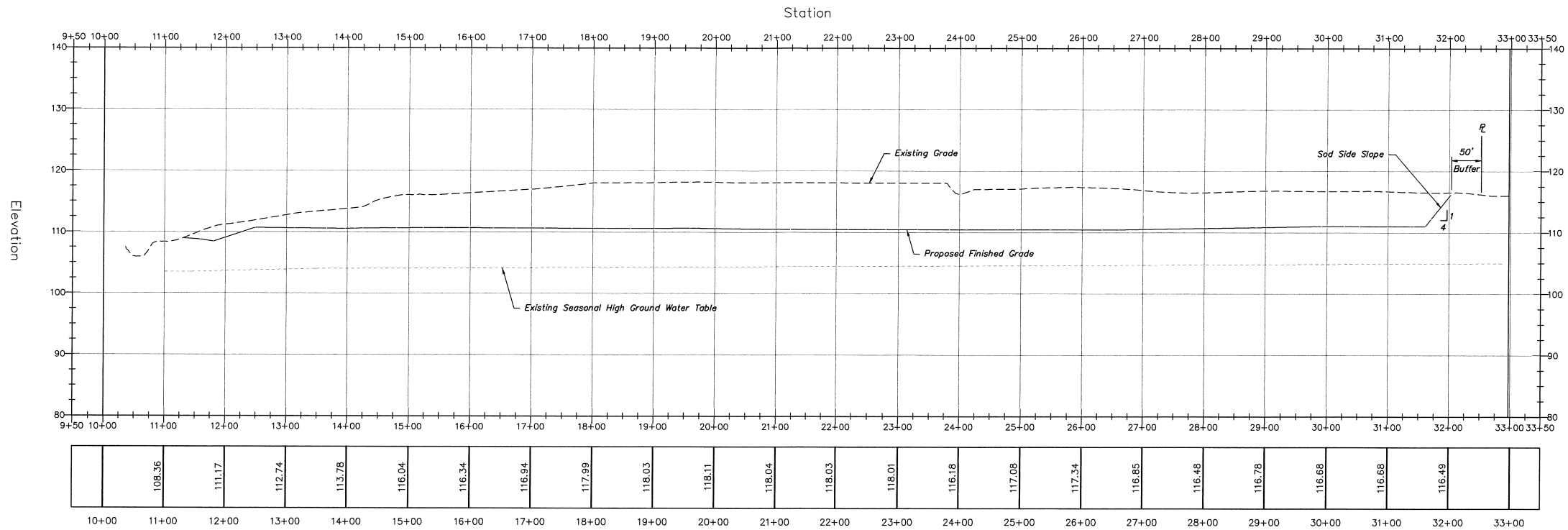
Overall Mass Grading Plan  
Wekiva Parkway  
Industrial Park

JEC  
june engineering  
consultants, inc.  
32 W. Plant Street  
Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232  
Certificate of Authorization #00008507  
DRAWN BY: CLK CHECKED BY: RAJ SCALE: 1" = 200'  
DATE: 6/16/15 DATE: 6/16/15

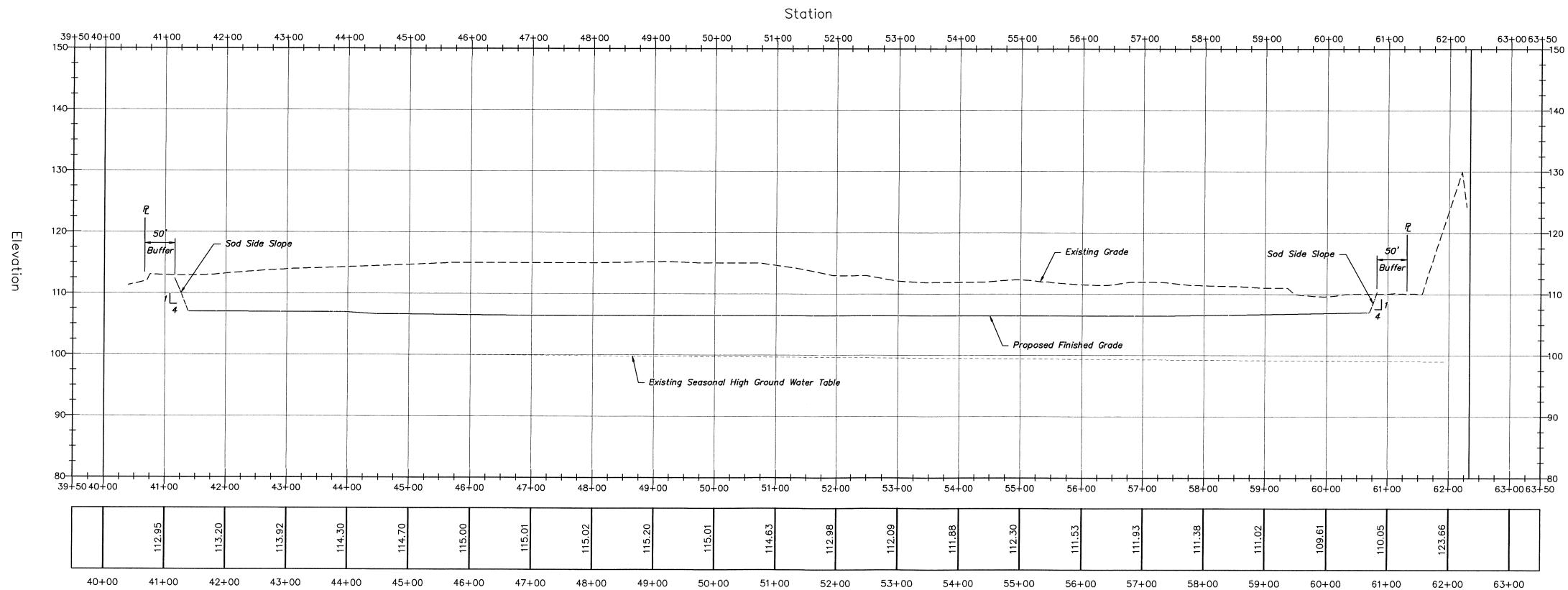
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Proposed Contours	---
Existing Grade	---
Soil Boring Location	⊕ B-4A
Proposed Grade	---
Finished Floor	---
Proposed Pavement	---
Storm Structure	---
Storm Inlet	---
Concrete	---
Plan & Profile Sheet #	④
Soil Type	---
Conservation Line	---
100 Year Flood	---

JOB NO.  
14-0458  
SHEET  
2  
OF 21  
JEFFREY A. SEDOFF  
PE# 51506

# Section A-A PROFILE



# Section B-B PROFILE



Scale:  
Horiz: 1" = 100'  
Vert: 1" = 10'

34

DATE	REVISION
9/16/15	City Comments
2/9/16	City Comments
3/2/16	City Comments

Cross Sections  
Wekiva Parkway  
Industrial Park



june engineering  
consultants, inc.

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Winter Garden, FL 34787  
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Certificate of Authorization #00008507

DRAWN BY: CLK  
DATE: 6/16/15

CHECKED BY: RAJ  
DATE: 6/16/15

SCALE  
As Noted

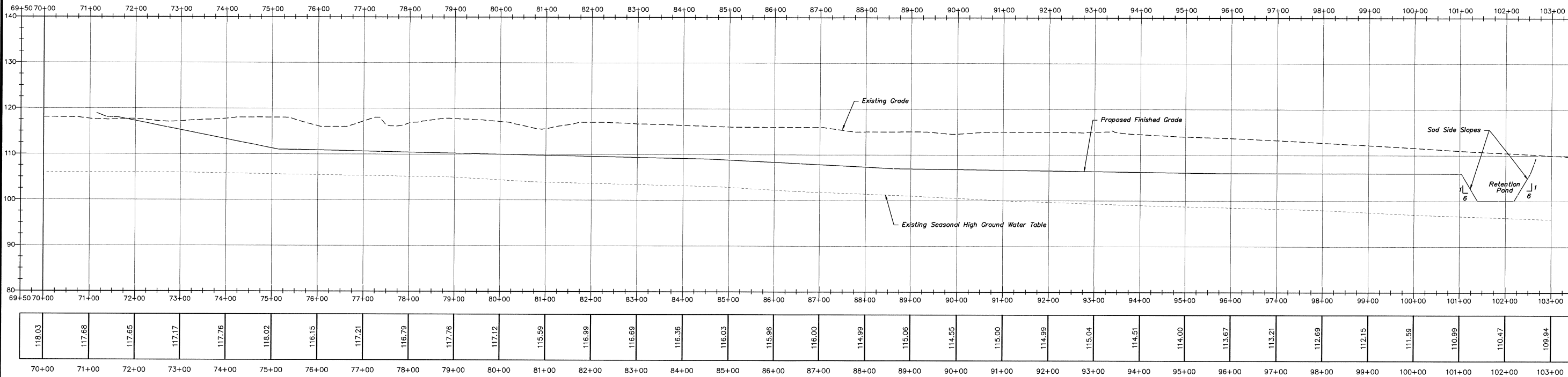
JEFFREY A. SEDLOFF  
PE# 51506

JOB NO.  
14-0458  
SHEET  
9  
OF 21



# Section C-C PROFILE

Station



DATE	REVISION
9/16/15	City Comments
2/9/16	City Comments

Cross Sections  
Wekiva Parkway  
Industrial Park



june engineering  
consultants, inc.

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Certificate of Authorization #00008507

DRAWN BY: CLK  
DATE: 6/16/15

CHECKED BY: RAJ  
DATE: 6/16/15

SCALE  
As Noted

JEFFREY A. SEDLOFF  
PE# 51506

Scale:  
Horiz: 1" = 100'  
Vert: 1" = 10'

JOB NO.  
14-0458  
SHEET  
10  
OF 21





# WEKIVA PARKWAY INDUSTRIAL PARK

## MASS GRADING OF

## FINAL DEVELOPMENT

## PLANS

### DESCRIPTION:

PARCEL 01-21-27-0000-00-060

THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER IN SECTION 1, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LESS ROAD RIGHT OF WAY.

PARCEL 01-21-27-0000-00-030

THE EAST 3/4 OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, LESS THE WEST 200 FEET OF THE NORTH 660 FEET AND LESS THE SOUTH 30 FEET FOR RIGHT-OF-WAY, SECTION 1, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA

PARCEL 06-21-28-7172-12-060

LOTS 2, 3, 4, 5, 6, 7, AND 9 OF BLOCK L, TOWN OF PLYMOUTH, AS PER RECORDED PLAT IN PLAT BOOK B, PAGES 17-18, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA

PARCEL 06-21-28-7172-13-000

ALL OF BLOCK "M", TOWN OF PLYMOUTH, AS PER RECORDED PLAT THEREOF RECORDED IN PLAT BOOK "B", PAGES 17-18, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA

PARCEL 12-21-27-0000-00-010

THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, LESS THE NORTH 30 FEET FOR RIGHT-OF-WAY, SECTION 12, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA

PARCEL 12-21-27-0000-00-018

THE NORTH HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER, SECTION 12, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA

LYING WEST OF STATE ROAD 428 (WESTERN BELTWAY)



Location Map

INDEX OF SHEETS	
SHEET TITLE	No.
Cover Sheet	1
Overall Mass Grading Plan	2
Mass Grading Plans	3-8
Mass Grading Profiles	9-10
SWPPP	11
Wetland Inventory Plan	12
Overall Tree & Landscape	13
Tree & Landscape Plans	14-19
Haul Route Plan	20
Reclamation Plan	21

Parcel ID Number: 01-21-27-0000-00-030; 01-21-27-0000-00-060; 06-21-28-7172-12-020; 06-21-28-7172-12-060; 06-21-28-7172-13-000; 12-21-27-0000-00-010; 12-21-27-0000-00-018

Future Land Use: Industrial

Zoning: Industrial (I-1)

Adjacent Land Use: North: IND, East: IND, South: IND, West: IND

Adjacent Zoning: North: I-1, East: I-1, South: I-1, West: I-1

Acreage/Square Footage: 140.47 Acres, 6,119,015.49 S.F.

Building Height: Proposed: N/A, Max: 35'

Density: Proposed: 0

Building Setbacks: Proposed: Front 25, Side 10, Rear 10, Corner 25 Required: Front 25, Side 10, Rear 10, Corner 25

Parking Spaces: Proposed 0, Required 0

Open Space: Proposed 0, Required 0

Waiver Request: N/A

Variance Request: N/A

FAR: Proposed 0, Required 60

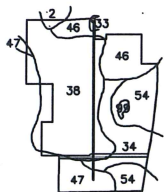
OWNER/DEVELOPER: MID-FLORIDA FREEZER  
2560 W. ORANGE BLOSSOM TRAIL  
APOPKA, FL 32712 (407) 886-1971

ENGINEER: JUNE ENGINEERING CONSULTANTS, INC.  
32 W. PLANT STREET  
WINTER GARDEN, FL 34787 (407) 905-8180

SURVEYOR: BISHMAN SURVEYING & MAPPING  
32 W. PLANT STREET  
WINTER GARDEN, FL 34787 (407) 905-8877

GEOTECHNICAL ENGINEER: ECS FLORIDA, LLC  
2815 DIRECTORS ROW, SUITE 500  
ORLANDO, FL 32809 (407) 859-8378

ENVIRONMENTAL CONSULTANT: BIO-TECH CONSULTING, INC.  
2002 E. ROBINSON STREET  
ORLANDO, FL 32803 (407) 894-5969



- 2 Archbold Fine Sand, 0 to 5 Percent Slopes
- 33 Pits
- 34 Pomello Fine Sand, 0 to 5 Percent Slopes
- 38 St. Lucie Fine Sand, 0 to 5 Percent Slopes
- 46 Tavares Fine Sand, 0 to 5 Percent Slopes
- 47 Tavares-Millhopper Fine Sands, 0 to 5 Percent Slopes
- 54 Zolfo Fine Sand
- 99 Water

### SOILS MAP

N.T.S.

### PHASING PLAN:

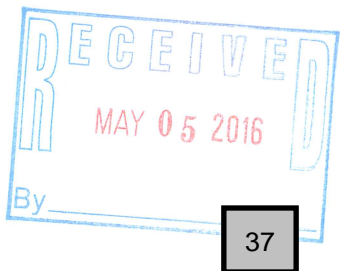
1. CLEARING AND EXCAVATION SHALL BE COMPLETED ONE PHASE AT TIME UNLESS OTHERWISE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR OR CITY ADMINISTRATOR.
2. CITY ADMINISTRATOR OR COMMUNITY DEVELOPMENT DIRECTOR MAY APPROVE PHASING CHANGES AS NECESSARY.

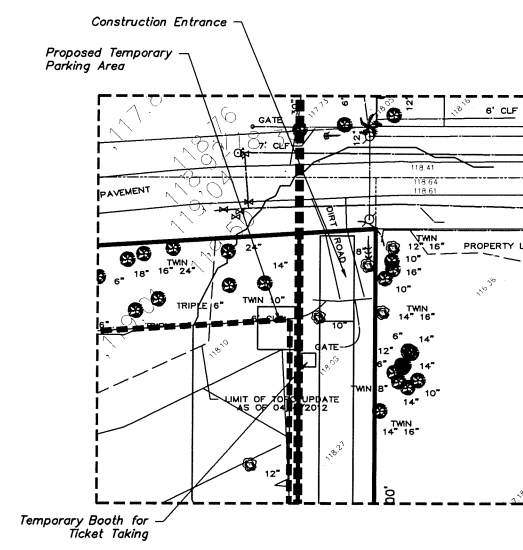
### GENERAL NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH THE MOST RECENT STANDARDS & SPECIFICATIONS OF CITY OF APOPKA.
2. CONTRACTOR SHALL CONTACT ALL OWNERS OF UTILITIES, EASEMENTS AND/OR RIGHT-OF-WAYS, WHETHER THEY ARE PUBLIC OR PRIVATE, PRIOR TO COMMENCING ANY WORK ON OR OVER THE AREAS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, VEGETATION, PAVEMENT, ETC., AS NOTED ON SITE PLAN.
4. DEVELOPER SHALL CONFORM TO SFGC, 1994 EDITION, 18.106 TO 18.109 DURING CONSTRUCTION. WHEN COMBUSTIBLES ARE BROUGHT ON TO THE SITE IN SUCH QUANTITIES AS DETERMINED BY THE FIRE OFFICIAL, ACCESS ROADS AND A SUITABLE TEMPORARY SUPPLY OF WATER ACCEPTABLE TO THE FIRE DEPARTMENT SHALL BE MAINTAINED. "THE STORAGE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS/GAS ON SITE SHALL COMPLY WITH THE NATIONAL FIRE PROTECTION ASSOCIATION AND APPLICABLE CODE REQUIREMENTS INSTALLATION AND STORAGE PERMITS WILL BE REQUIRED PER CITY AND STATE REQUIREMENTS."
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE A THOROUGH REVIEW OF THE SITE TO DETERMINE EXISTING CONDITIONS. ANYTHING NOT SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
6. ANY "HARD PAN", WET SOIL CONDITIONS, OR OTHER SUSPECT SOIL CONDITIONS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION SO THAT THE CONDITIONS MAY BE FURTHER INVESTIGATED.
7. ALL PRIVATE, PUBLIC PROPERTY AND PUBLIC RIGHTS-OF-WAY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, EXISTING BEFORE COMMENCEMENT OF CONSTRUCTION WORK, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF PUBLIC SAFETY, BOTH WHILE THE PROJECT IS MANNED AND UNMANNED, DURING THE DURATION OF THE CONSTRUCTION ACTIVITY.
9. THE CONTRACTOR IS TO EMPLOY THE BEST MANAGEMENT PRACTICES DURING THE CONSTRUCTION OF THIS SITE TO ASSURE ALL SEDIMENTS ARE RETAINED ON SITE. ROADS WILL BE CLEANED REGULARLY WITH A BRUSH SWEEPER. A WATER TRUCK IS TO BE USED ALSO AS REQUIRED.
10. SURVEY INFORMATION SHOWN WITHIN THESE PLANS IS BASED ON INFORMATION SUPPLIED BY LEADING EDGE LAND SERVICES, & BISHMAN SURVEYING AND MAPPING, JUNE ENGINEERING CONSULTANTS INC. QUES NO GUARANTEE TO THE ACCURACY IN SUBSTANCE OR LOCATION OF SAID SURVEY INFORMATION.
11. PLAN IS SUBMITTED FOR SITE GRADING AND EXCAVATION REVIEW AND APPROVAL OF SITE IMPROVEMENTS ONLY. NO BUILDING CONSTRUCTION IS PROPOSED. EXCAVATION TO CONTINUE FOR APPROXIMATELY 48 MONTHS. THE HOURS OF OPERATION WILL BE FROM: MONDAY - FRIDAY 7:00 AM TO 5:00 PM, SATURDAY 8:00 AM - 5:00 PM AND NO WORK ON SUNDAY UNLESS APPROVED IN ADVANCE.
12. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET FORTH ON THE CITY OF APOPKA LAND DEVELOPMENT CODE AND/OR ZONING REGULATIONS AT TIME OF PLAN APPROVAL.
13. PRIOR TO CONSTRUCTION ALL LOCAL, STATE AND FEDERAL PERMITS SHALL BE APPROVED. A PRE-CONSTRUCTION CONFERENCE SHALL BE REQUIRED PRIOR TO ANY WORK ON-SITE.
14. THE SILT SCREEN MUST BE CONSTRUCTED & APPROVED PRIOR TO COMMENCING WORK.
15. POTABLE WATER SHALL BE SUPPLIED BY BOTTLED WATER COMPANY.
16. SANITARY SEWER SHALL BE PORTA-JOHN SERVICED ONCE PER WEEK IF NECESSARY.
17. SOLID WASTE SHALL BE HANDLED WITH ON-SITE DUMPSTER BY CITY IF NECESSARY.
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23. MINING ACTIVITIES WILL CEASE IF ANY HISTORICAL ARTIFACTS ARE DISCOVERED, AND MINING OPERATOR WILL CONTACT THE STATE OF FLORIDA DIVISION OF HISTORICAL RESOURCES.
24. A LETTER MUST BE OBTAINED FROM THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSIONER (FWCC) REGARDING WILDLIFE MANAGEMENT PLAN FOR THE GOPHER TORTOISES OR OTHER IDENTIFIED SPECIES PRIOR TO ANY CONSTRUCTION ACTIVITIES OCCURRING ON SITE.
25. ADDITIONAL STANDARDS AND CONDITIONS APPEAR IN A DEVELOPMENT AGREEMENT APPROVED BY THE APOPKA CITY COUNCIL ON.
26. TREE MITIGATION FEE WILL BE CALCULATED ON A PHASE BY PHASE BASIS. NO CLEARING OR GRADING SHALL OCCUR WITHIN ANY PHASE UNTIL THE TREE MITIGATION FEE CALCULATION HAS BEEN APPROVED BY THE COMMUNITY DEVELOPMENT DEPARTMENT AND PAYMENT TO THE CITY HAS BEEN MADE.

### SITE DATA:

1. TOTAL ACREAGE: 140.47 AC.
2. AREA OF EXCAVATION: 136.89 AC. ±
3. TOTAL EXCAVATION: APPROX. 1,200,000 CY
4. SETBACKS FROM EACH PROPERTY LINE: 25' TO TOP OF SLOPE
5. RESTORATION: SEED AND MULCH ALL DISTURBED AREAS
6. EXCAVATION AREA SHALL BE FENCED WITH MATERIAL, APPROVED BY CITY ENGINEER.
7. NO TRESPASSING SIGNS SHALL BE POSTED EVERY 500' AROUND PERIMETER.
8. DUST CONTROL PLAN: WATER TRUCKS ARE REQUIRED. ENTRANCE TO BE CLEANED W/ POWER SWEEPER.
9. EXISTING ZONING: INDUSTRIAL
10. FUTURE LAND USE: INDUSTRIAL
11. MIN. SETBACK AT EXTERIOR: 25' @ ROAD R/W, 25' AT ADJACENT PROPERTY LINES AS SHOWN.
12. NUMBER OF EMPLOYEES: 2

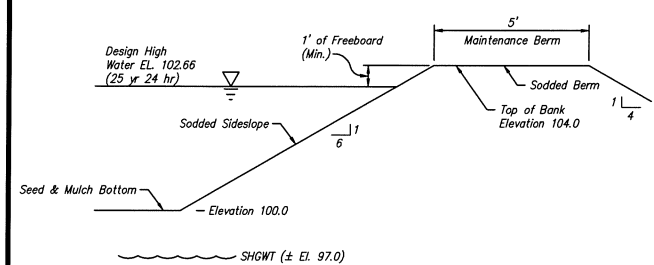




Note: Portable Bathroom Shall be Provided on-site During Mining Activities

**ENTRANCE DETAIL**

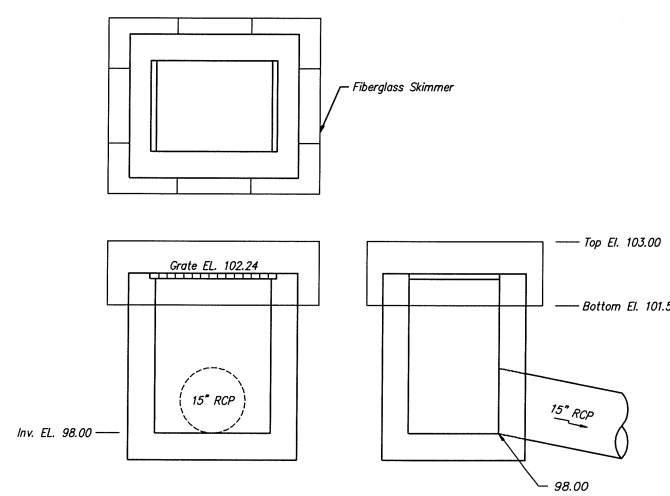
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(SWM-1)

**TYPICAL DRY POND SECTION**

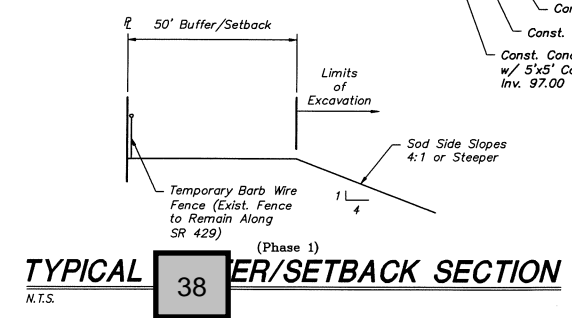
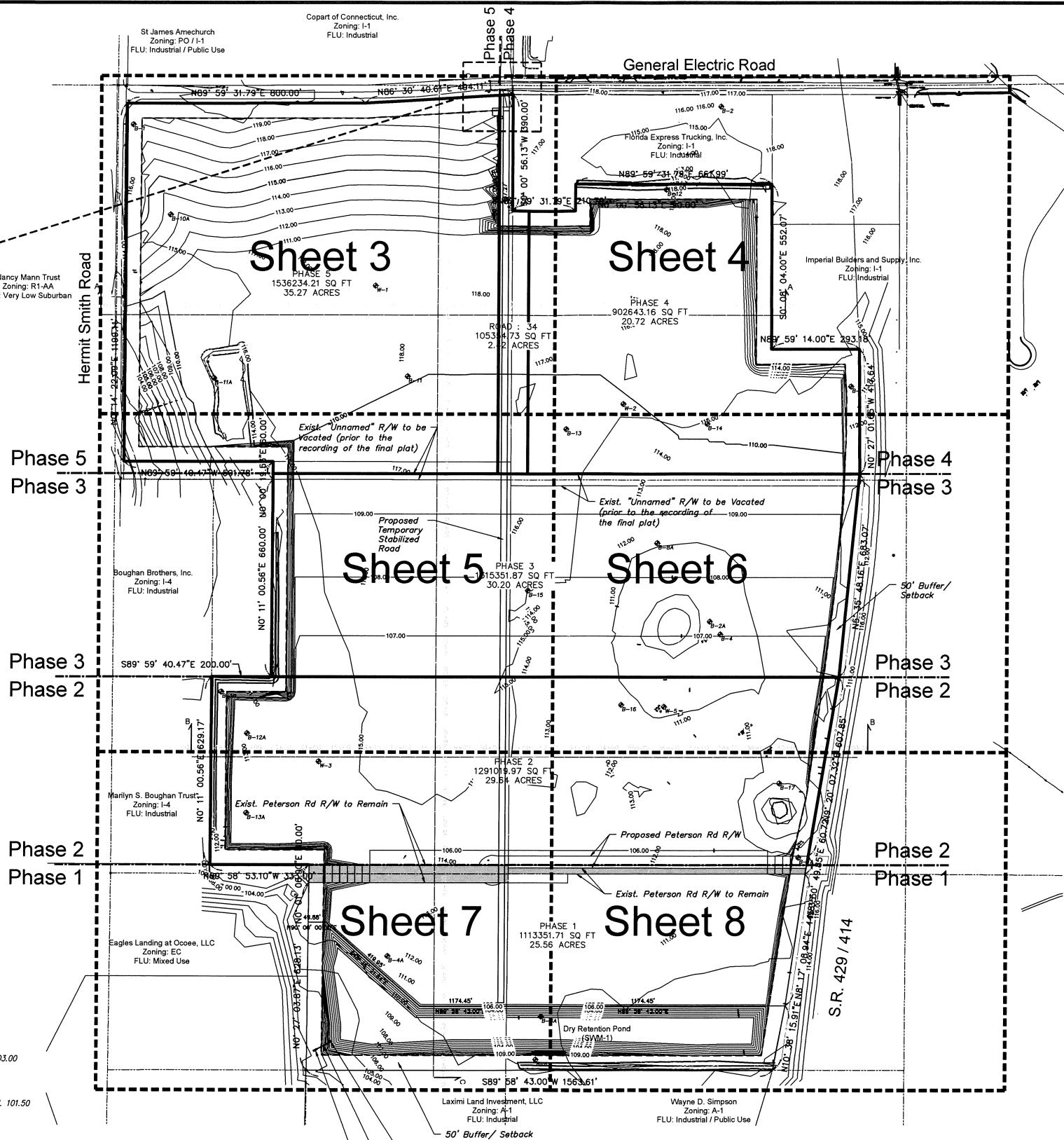
N.T.S.



(Type "D" Inlet)

**DISCHARGE STRUCTURE 'DS-1'**

N.T.S.



(Phase 1)

**TYPICAL BUFFER/SETBACK SECTION**

N.T.S.

DATE	REVISION
9/16/15	City Comments
2/9/16	City Comments
3/2/16	City Comments

Overall Mass Grading Plan  
Wekiva Parkway  
Industrial Park

**JEC** june engineering consultants, inc.

32 W. Plant Street  
Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232

Certificate of Authorization #00031567

DRAWN BY: CLK CHECKED BY: RAJ SCALE: 1" = 200'  
DATE: 6/16/15 DATE: 6/16/15

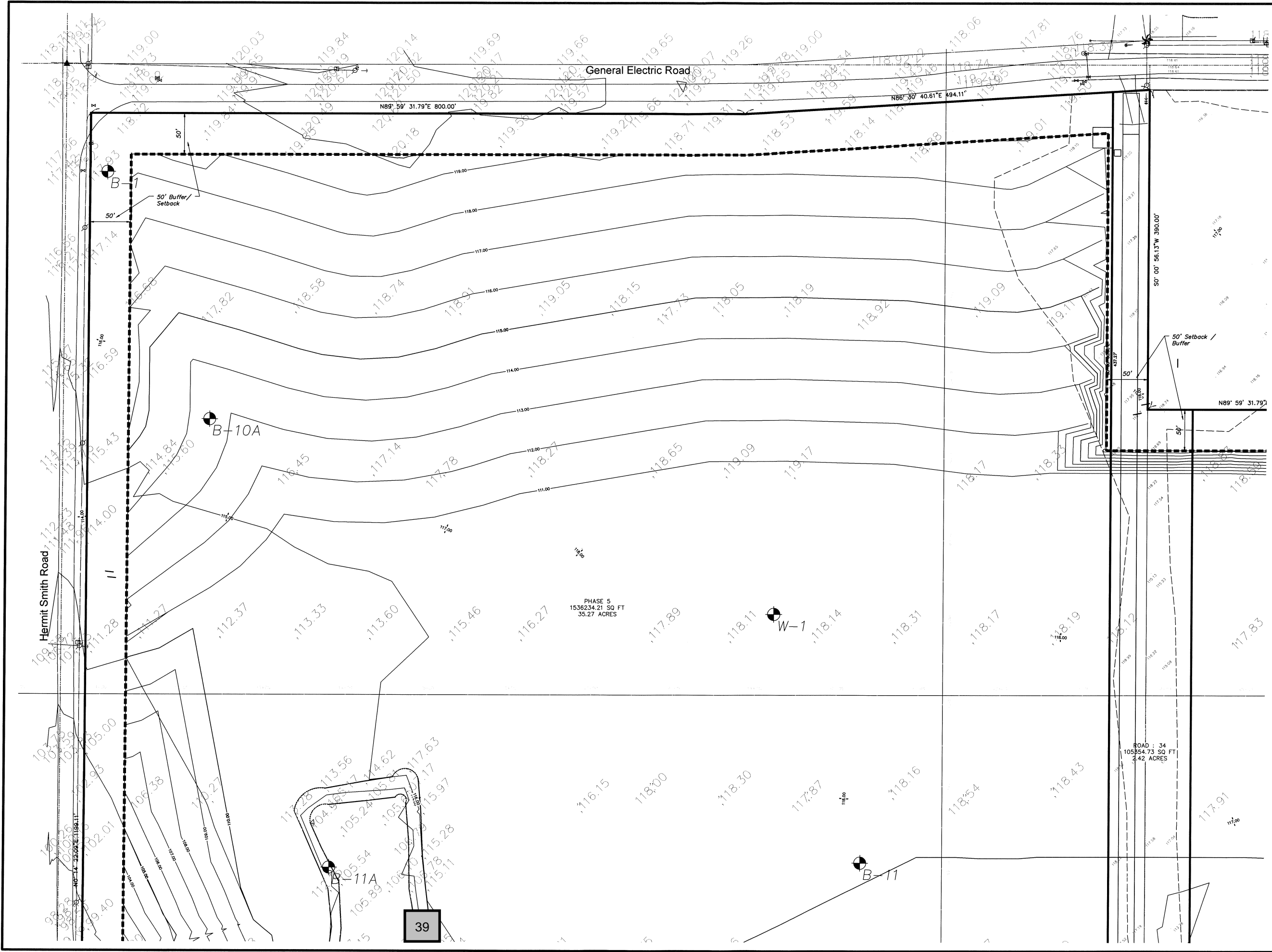
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Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Proposed Pavement	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Plan & Profile Sheet #	
Soil Type	
Conservation Line	
100 Year Flood	

JOB NO. 14-0458

SHEET 2 OF 21

JEFFREY A. SEDLOFF  
PE# 51506



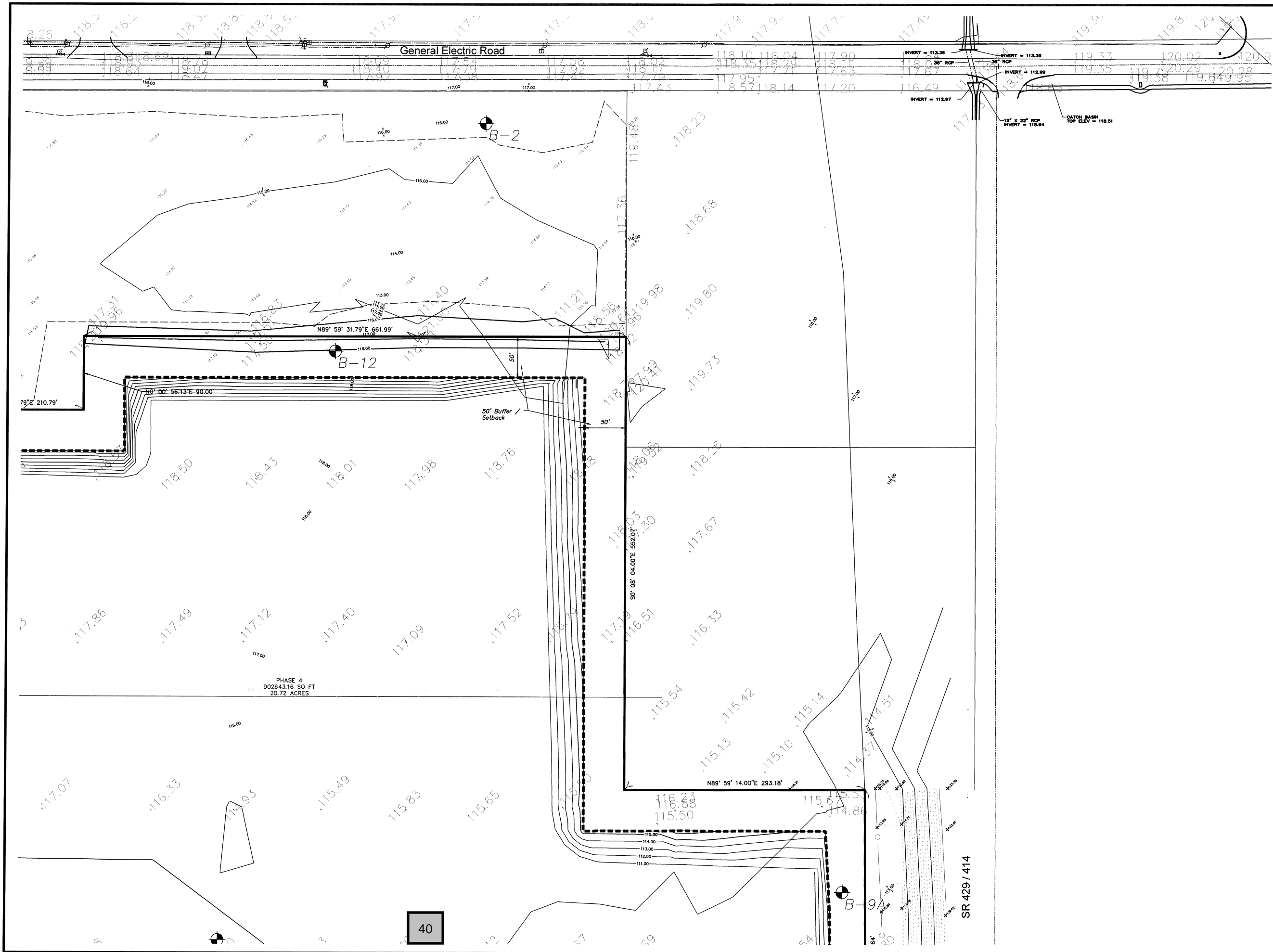


LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Conservation Line	
100 Year Flood	

Overall Mass Grading Plan  
Wekiva Parkway  
Industrial Park

DATE	REVISION	City Comments
2/9/16		

**JEC**  
June engineering  
consultants, inc.  
32 W. Plant Street  
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Ph. 407-905-8180  
Fax 407-905-6232  
Certificate of Authorization #00031567  
DRAWN BY: CLK CHECKED BY: PAJ SCALE: 1" = 50'  
DATE: 6/16/15 DATE: 6/16/15



LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Conservation Line	
100 Year Flood	

DATE  
2/9/16

REVISION

City Comments

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Wekiva Parkway  
Industrial Park

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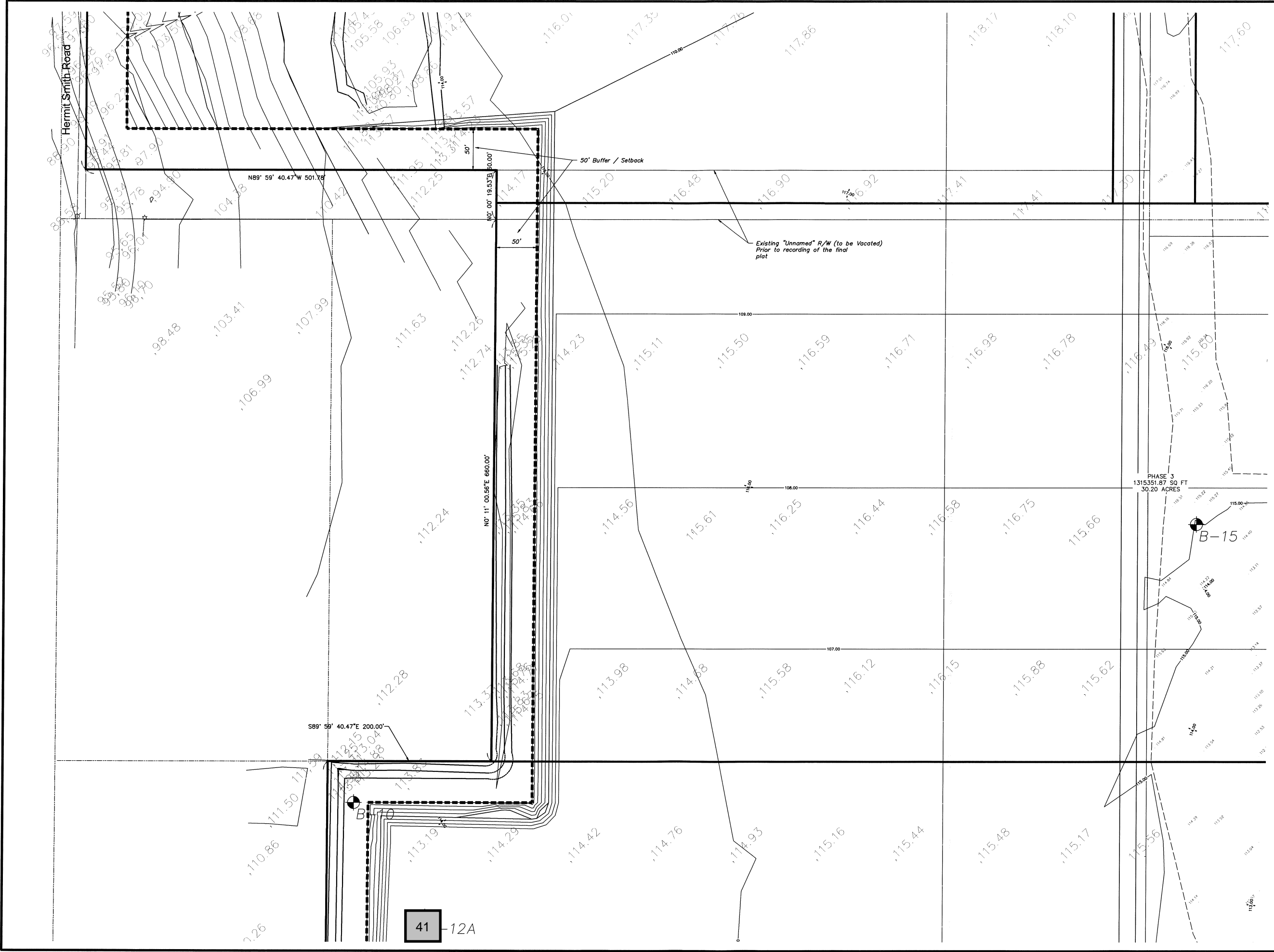
JOB NO.  
14-0458

SHEET  
4

OF  
21

JEFFREY A. SEDLOFF  
PE# 51506

DRAWN BY: CLK  
CHECKED BY: RAJ  
DATE: 6/16/15  
SCALE: 1" = 50'



LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
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Drawn By: CLK  
Checked By: PAK  
Date: 6/16/15

Certificate of Authorization #00031567  
Scale: 1" = 50'  
Date: 6/16/15

Overall Mass Grading Plan  
Wekiva Parkway  
Industrial Park

DATE	REVISION	CITY COMMENTS
2/9/16		

JOB NO.  
14-0458

SHEET  
5

OF  
21

JEFFREY A. SEDLOFF  
P.E. # 51506

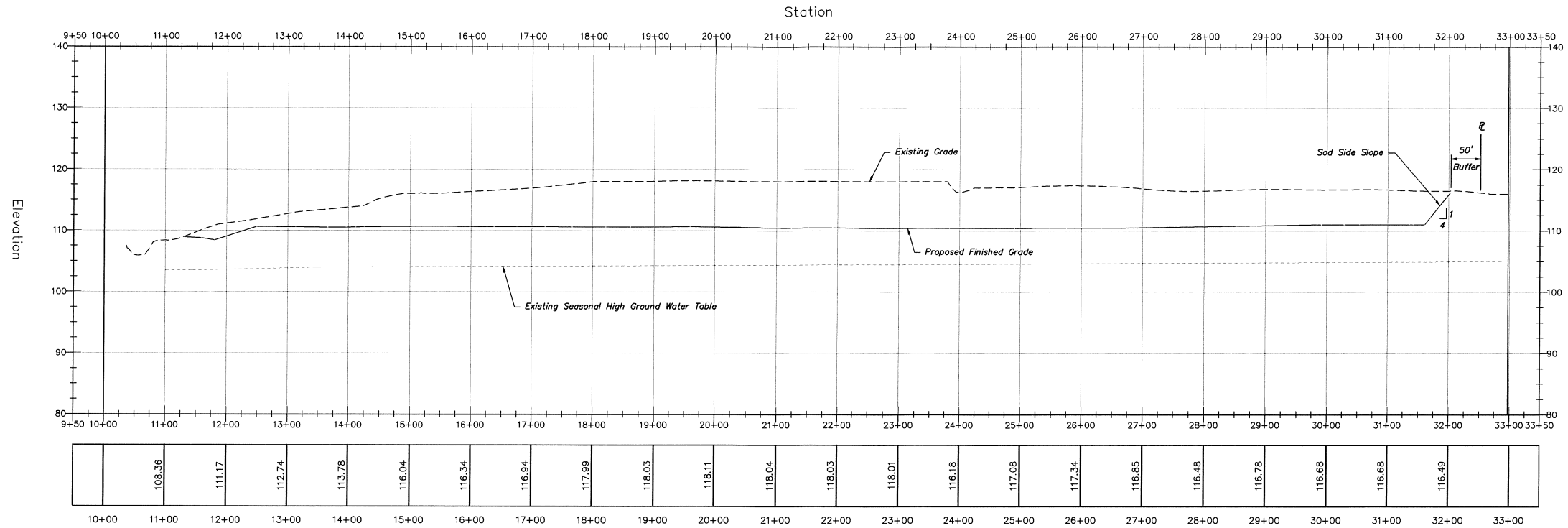




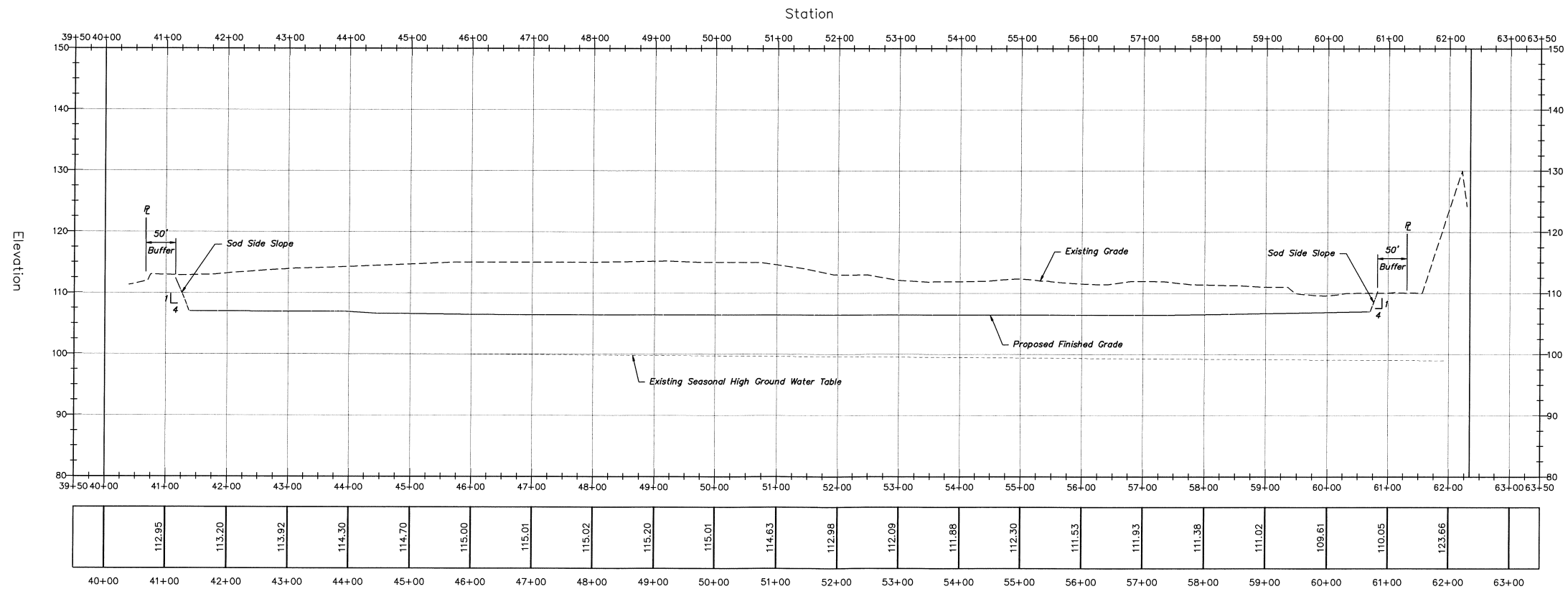




# Section A-A PROFILE



# Section B-B PROFILE



Scale:  
Horiz: 1" = 100'  
Vert: 1" = 10'

DATE	REVISION
9/16/15	City Comments
2/9/16	City Comments
3/2/16	City Comments

Cross Sections  
Wekiva Parkway  
Industrial Park



june engineering  
consultants, inc.

32 W. Plant Street  
Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232

Certificate of Authorization #00031567

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DATE: 6/16/15

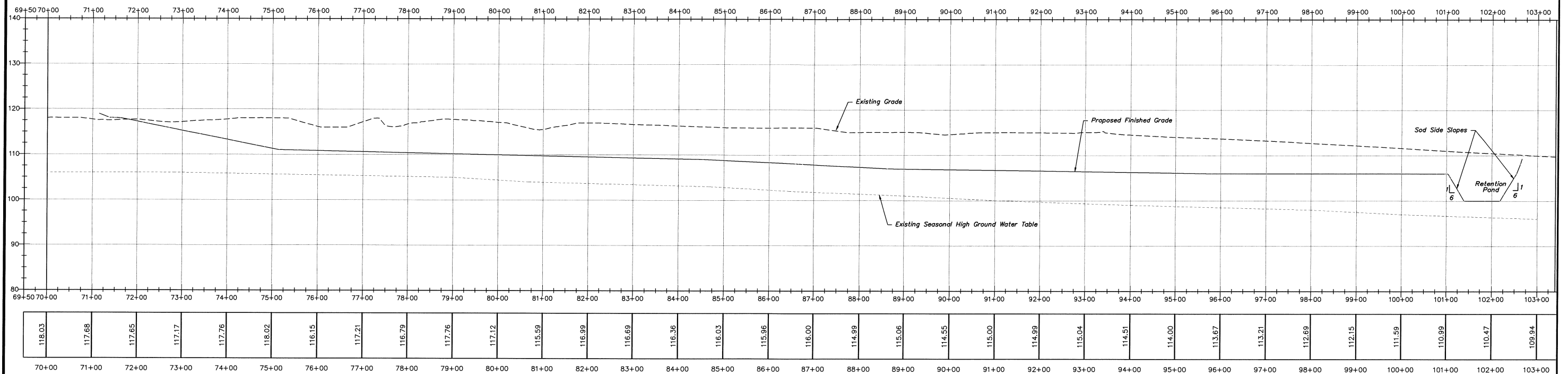
SCALE  
As Noted

JEFFREY A. SEDLOFF  
PE# 51506

JOB NO.  
14-0458  
SHEET  
9  
OF 21

# Section C-C PROFILE

Station



DATE	REVISION
9/16/15	City Comments
2/9/16	City Comments

Cross Sections  
Wekiva Parkway  
Industrial Park



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SCALE  
As Noted

JEFFREY A. SEDLOFF  
PE# 51506

Scale:  
Horiz: 1" = 100'  
Vert: 1" = 10'

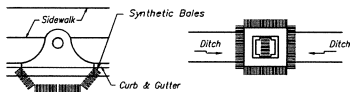
JOB NO.  
14-0458

SHEET

10  
OF 21



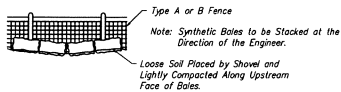
Partial Inlet



Completed Inlet

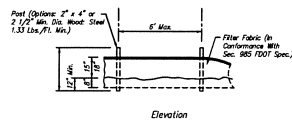
Ditch Bottom Inlet

Protection Around Inlets or Similar Structures

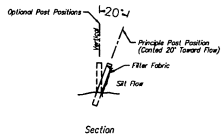


Synthetic Bales Backed by Fence

(Per F.D.O.T. Index No. 102)  
**EROSION PROTECTION DETAILS**  
N.T.S.



Deviation



Section

Note: Silt Fence to be Paid for Under the Contract Unit Price for Staked Silt Fence (U).  
Reinforced Silt Fence shall be provided adjacent to all Wetlands/Islands  
Butlers or as noted. Reinforcement shall include wire backing to Silt Fence.  
**TYPE III SILT FENCE**  
N.T.S.

Project Name: Mid-Florida Freeway  
FDEP Project ID # FLR 77

Site Location:  
S81 1215 R27E, S12 1215 R27E, S06 1215 R28E  
Latitude: 28°41'00"N Longitude: 81°33'47"W

Site Area: The total site is approximately 140.47 acres of which 136.89 will be disturbed by construction activities.

Owner Name:  
Mid-Florida Freeway  
c/o June Engineering Consultants  
P.O. Box 770099  
Winter Garden, FL 34777

Contractor Name:

Project Description: Construction infrastructure associated with an industrial/commercial subdivision. Clearing and grubbing, installing a stabilized construction entrance, perimeter and other erosion and sediment controls, grading, excavation for the stormwater ponds, storm sewer, utilities, and building foundations; construction of roads, curbs, sidewalks, preparation for final planting and seeding.

Construction Sequence:  
1. Install stabilized construction entrance.  
2. Clear and Grub for silt fence installation.  
3. Install Silt Fence.  
4. Construct Retention Ponds/Mass Site Grading.  
5. Install Infrastructure (Storm Sewer, Utilities, Roads, etc.).  
6. Complete final grading and install permanent seeding and plantings.  
7. Remove any accumulated sediment from basin.  
8. When construction activity is complete and the site is stabilized, remove silt fence and reseed/soil any areas disturbed by their removal.

Soil Type: Site is primarily underlain by USDA-SCS Type "A" Soils (St. Lucia, Tavares, Pammel, Zolla, and Tavares-Millican Fine Sands).  
Runoff Coefficient: The final runoff coefficient for the site will be C=0.20.

Receiving Water:  
Body: Lake Apopka

**CONTROLS (BMPs)**

**Erosion and Sediment Controls**

**Stabilization Practices**

Temporary Stabilization - Top stock piles and disturbed portions of the site where construction activity temporarily ceases for at least 7 days will be stabilized with temporary seed and mulch.

Permanent Stabilization - Disturbed portions of the site where construction activities permanently cease shall be stabilized with permanent seed and mulch and/or sod no later than 30 days after the last construction activity.

**Structural Practices**

Silt Fencing - Will be constructed around the perimeter of the site as indicated on the overall plans of the construction plans.

**Retention Ponds**

Sediment Basin - Will be constructed with the site grading. Once construction activities are nearly complete, the accumulated sediment will be removed from the basin.

**Other Controls**

Waste Disposal - All waste materials will be collected and stored in a dumpster or as required by the City of Apopka. All trash and debris from the site will be stored in the dumpster.  
Hazardous Waste - All hazardous waste materials will be disposed of in the manner specified by local or state regulation or by the manufacturer.  
Sanitary Waste - All sanitary waste will be collected from the portable units as per the requirement of Orange County and FDEP.

Off-site Vehicle Tracking  
A stabilized construction entrance has been provided to help reduce vehicle tracking of sediments. The paved street leading to the site entrance will be swept as necessary to remove any excess mud, dirt or rock tracked from the site. Dump trucks hauling material from the construction site will be covered with a tarpaulin.

**TIMING OF CONTROLS/MEASURES**

As indicated in the Sequence of Major Activities, the silt fence, stabilized construction entrance will be constructed prior to clearing or grading of any other portions of the site. Areas where construction activity temporarily ceases for more than 7 days will be stabilized with a temporary seed and mulch. Once construction activity ceases permanently in an area, that area will be stabilized with permanent seed and mulch and/or sod. After the entire site is stabilized, the accumulated sediment will be removed from the retention ponds and along the silt fence.

**CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS**

The storm water pollution prevention plan reflects the Orange County, St. Johns River Water Management District, Florida Department of Environmental Protection and the U.S. Environmental Protection Agency requirements for storm water management and erosion and sediment control.

**MAINTENANCE/INSPECTION PROCEDURES**

These are the inspection and maintenance practices that will be used to maintain erosion and sediment controls.  
- All control measures will be inspected at least once each week and following any storm event of 0.5 inches or greater. A rain gauge will be on site to measure rainfall amounts.  
- All measures will be maintained in good working order; if repair is necessary, it will be initiated within 24 hours of the report.  
- Build up sediment will be removed from silt fence when it has reached one-third the height of the fence.  
- Silt fence will be inspected for depth of sediment, tears, to see if the fabric is securely attached to the fence posts, and to see that the fence posts are firmly in the ground.  
- The retention pond/sediment basins will be inspected, and sediment will be removed at the end of the job.  
- Temporary and permanent seeding and plantings will be inspected for bare spots, washouts, and healthy growth.

It is expected that the following non-stormwater discharges will occur from the site during construction:

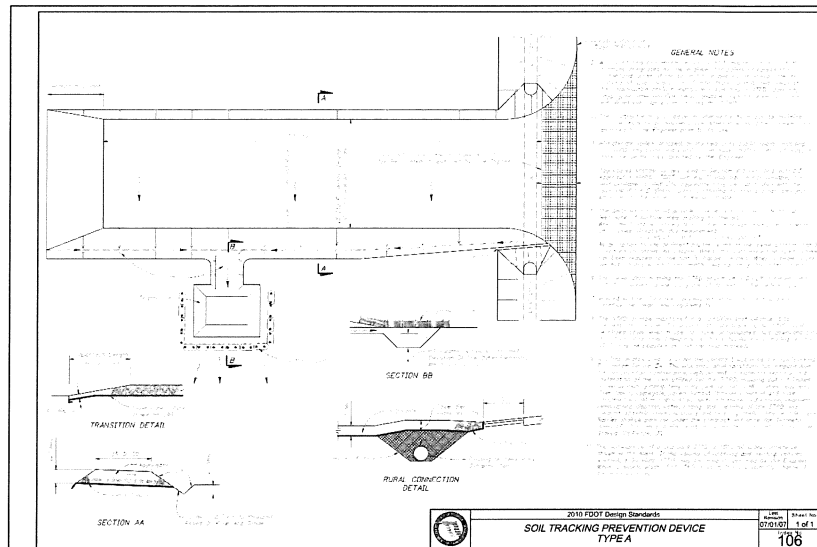
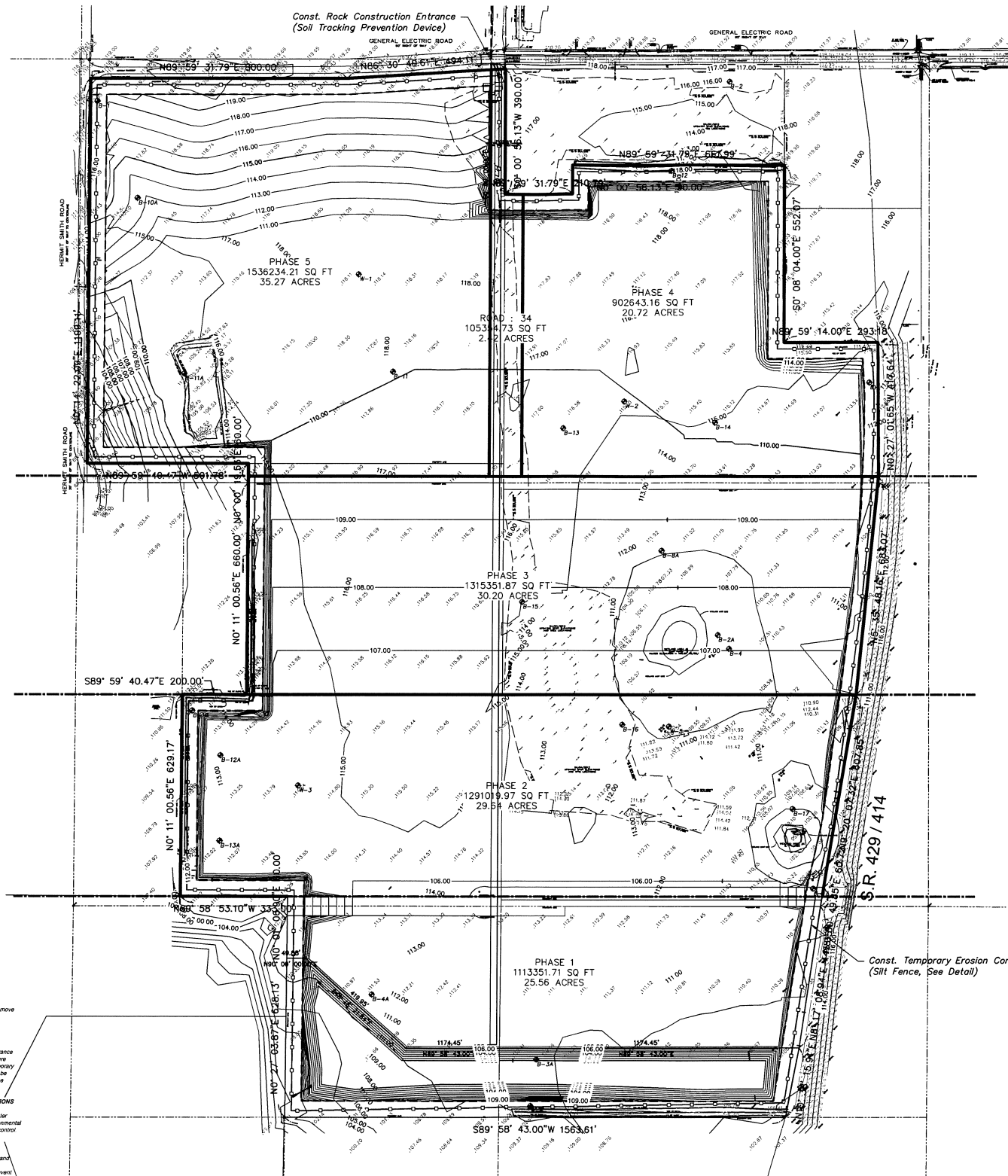
- Water from flushing of the water lines.  
- Water from the washing of the pavement (where no spills or leaks of toxic or hazardous materials have occurred).  
- Uncontaminated groundwater (from dewatering excavation).  
- All non-storm water discharges will be directed to the sediment basin prior to discharge.

**INVENTORY FOR POLLUTION PREVENTION PLAN**

The materials or substances listed below are expected to be present onsite during construction:

- Concrete  
- Asphalt  
- Wood  
- Masonry Block  
- Roofing Shingles  
- Petroleum Based Products  
- Fertilizers  
- Cleaning Solvents  
- Paints (Enamel and Latex)  
- Metal Sheds  
- Disinfectants

**CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL IF IT BECOMES NECESSARY TO MEET STATE AND LOCAL STANDARDS**



**EROSION CONTROL NOTES**

- All areas disturbed and not touched in thirty days shall be seeded and mulched.
- Contractor to provide control of airborne dust during construction as required.
- All inlets shall be protected by synthetic bales or meet the requirements as per FDOT Index No. 102.
- The erosion control measures shown herein are the minimum required. Additional controls to be utilized as needed.

DATE	REVISION
9/16/15	City Comments
2/9/16	City Comments

Stormwater Pollution  
Prevention Plan  
Wekiva Parkway Industrial Park



june engineering  
consultants, inc.

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SCALE

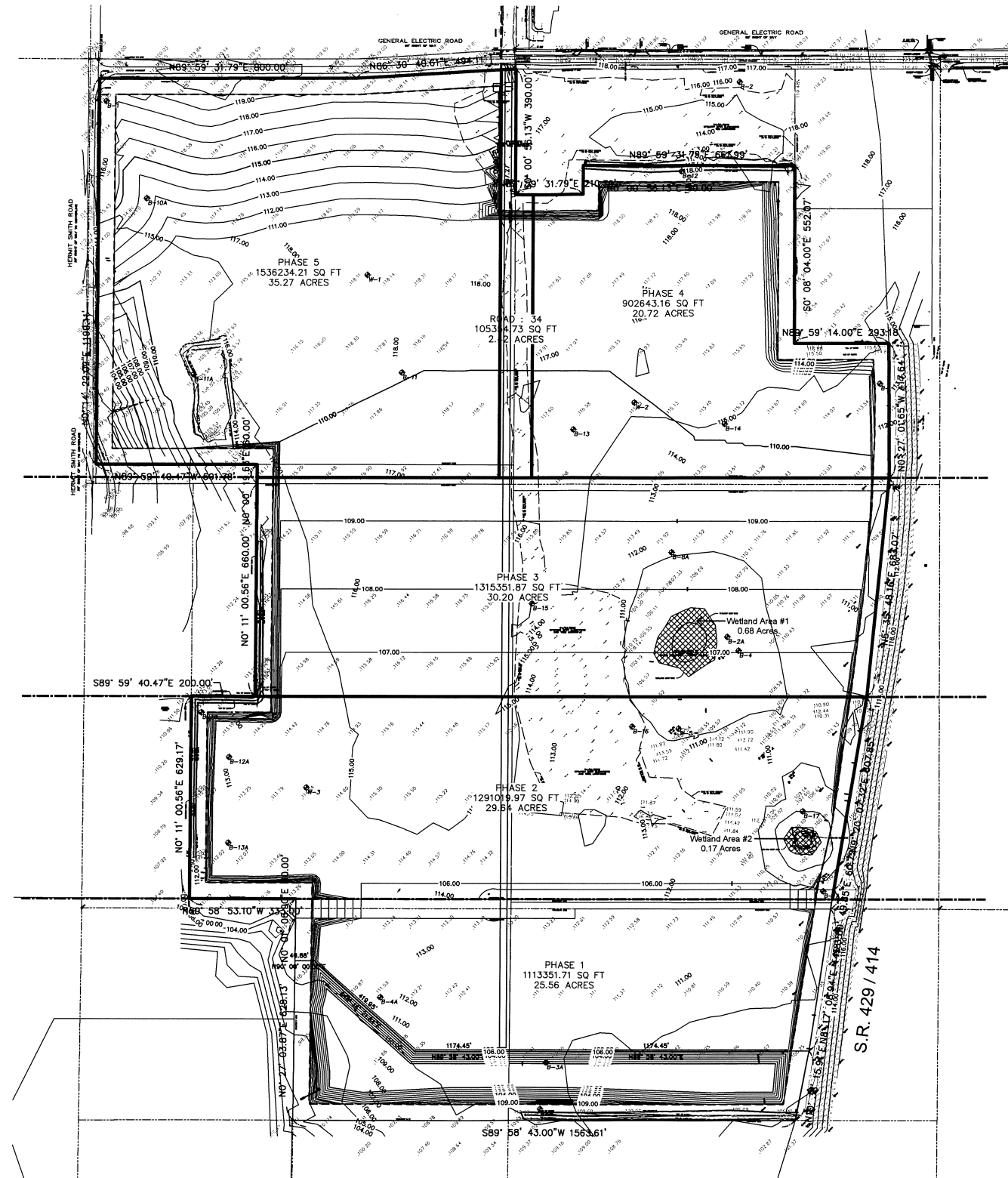
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DATE: 6/16/15

DATE: 6/16/15

JEFFREY A. SEDLOFF  
PE# 51506

JOB NO.  
**14-0458**  
SHEET  
**11**  
OF  
**21**



Wetland Impact

0.85 Ac.

Wetland #1  
Wetland #2

0.68 Ac.  
0.17 Ac.

DATE	REVISION
9/16/15	City Comments
2/9/16	City Comments

Wetland Inventory Plan  
Wekiva Parkway  
Industrial Park



june engineering  
consultants, inc.

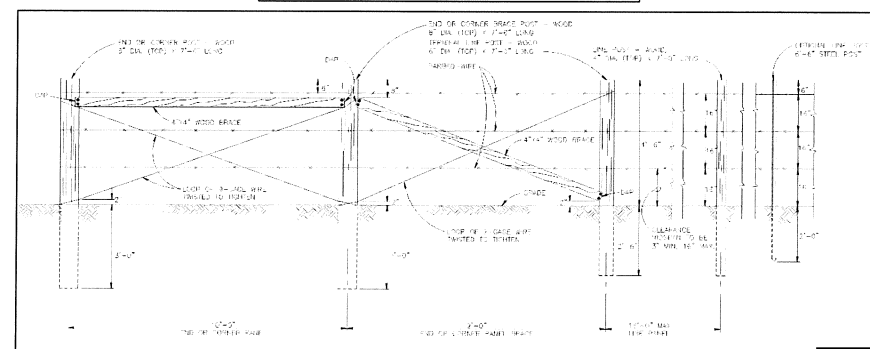
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DATE: 6/16/15 DATE: 6/16/15

JEFFREY A. SEDLOFF  
PE# 51506

JOB NO.  
14-0458  
SHEET  
12  
OF 21



**"TEMPORARY" BARBED WIRE FENCE DETAIL**  
N.T.S.



Existing Tree Information			
Tree Type	Size (Inches)	Number of Trees	Total Inches
Oaks	6	643	3858
	7	1	7
	8	367	2936
	10	316	3160
	12	192	2304
	13	1	13
	14	106	1484
	15	3	45
	16	71	1136
	17	1	17
	18	44	792
	20	10	200
	22	5	110
	24	11	264
	26	3	78
	28	3	84
30	2	60	
32	2	64	
36	1	36	
	Total Oaks		16,648
Palms	8	8	64
	10	11	110
	12	28	336
	14	35	490
	16	11	176
	17	1	17
	18	3	54
	20	3	60
	24	3	72
	Total Palms		1,379
Pines	10	2	20
	12	2	24
	16	1	16
		Total Pines	
Various	6	1067	6402
	7	2	14
	8	624	4992
	9	3	27
	10	334	3340
	11	4	44
	12	211	2532
	13	5	65
	14	96	1344
	15	2	30
	16	37	592
	17	1	17
	18	24	432
	19	1	19
	20	10	200
	22	6	132
	24	10	240
	26	4	104
28	1	28	
30	1	30	
32	2	64	
36	1	36	
	Total Various		20,684



KEY	BOTANICAL NAME	COMMON NAME	SIZE
QV	Quercus Virginiana	Live Oak	10'-12' Ht. 8'-10' Spd., 65 gal. 3" DBH 6" Cr. Trk.
SP	S. Babylonica	Sable Palm	10'-12' Ht. Clear Trunk 3" Caliper DBH

DATE	REVISION
9/16/15	City Comments
2/9/16	City Comments

Overall Tree / Landscape  
Wekiva Parkway  
Industrial Park

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consultants, inc.

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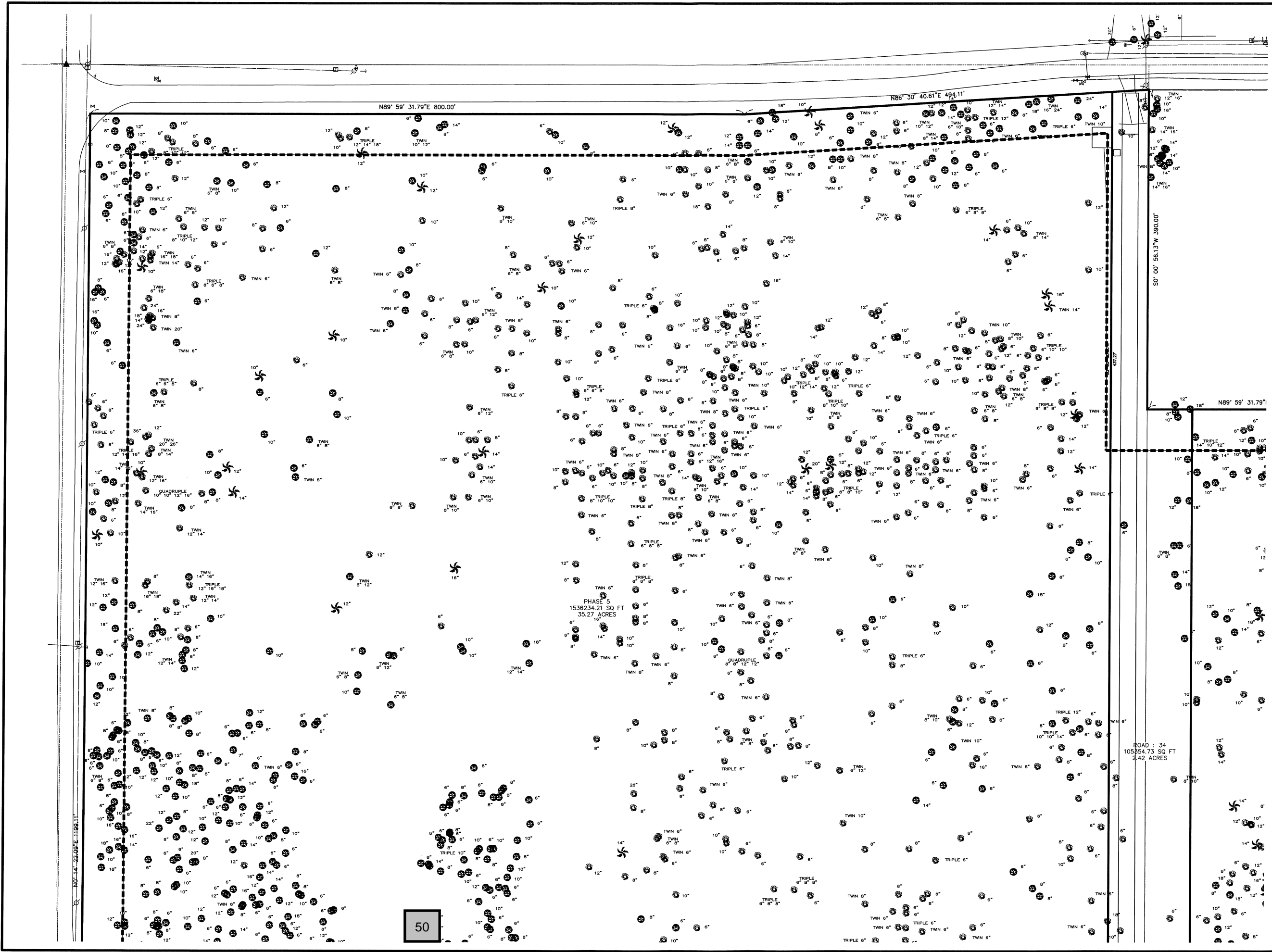
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JEFFREY A. SEDLOFF  
PE# 51506

JOB NO.  
14-0458

SHEET  
13  
OF 21



JOB NO.  
14-0458

SHEET  
14

OF  
21

JEFFREY A. SEDOFF  
P.E. 51506

32 W. Plant Street  
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June engineering  
consultants, inc.

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DATE: 2/9/16

REVISION  
City Comments

DATE: 6/16/15

CHECKED BY: JEC

DATE: 6/16/15

Overall Mass Grading Plan  
Wekiva Parkway  
Industrial Park

LEGEND

Existing Contours

Proposed Contours

Existing Grade

Soil Boring Location

Proposed Grade

Finished Floor

Storm Structure

Stormpipe

Fire Hydrant

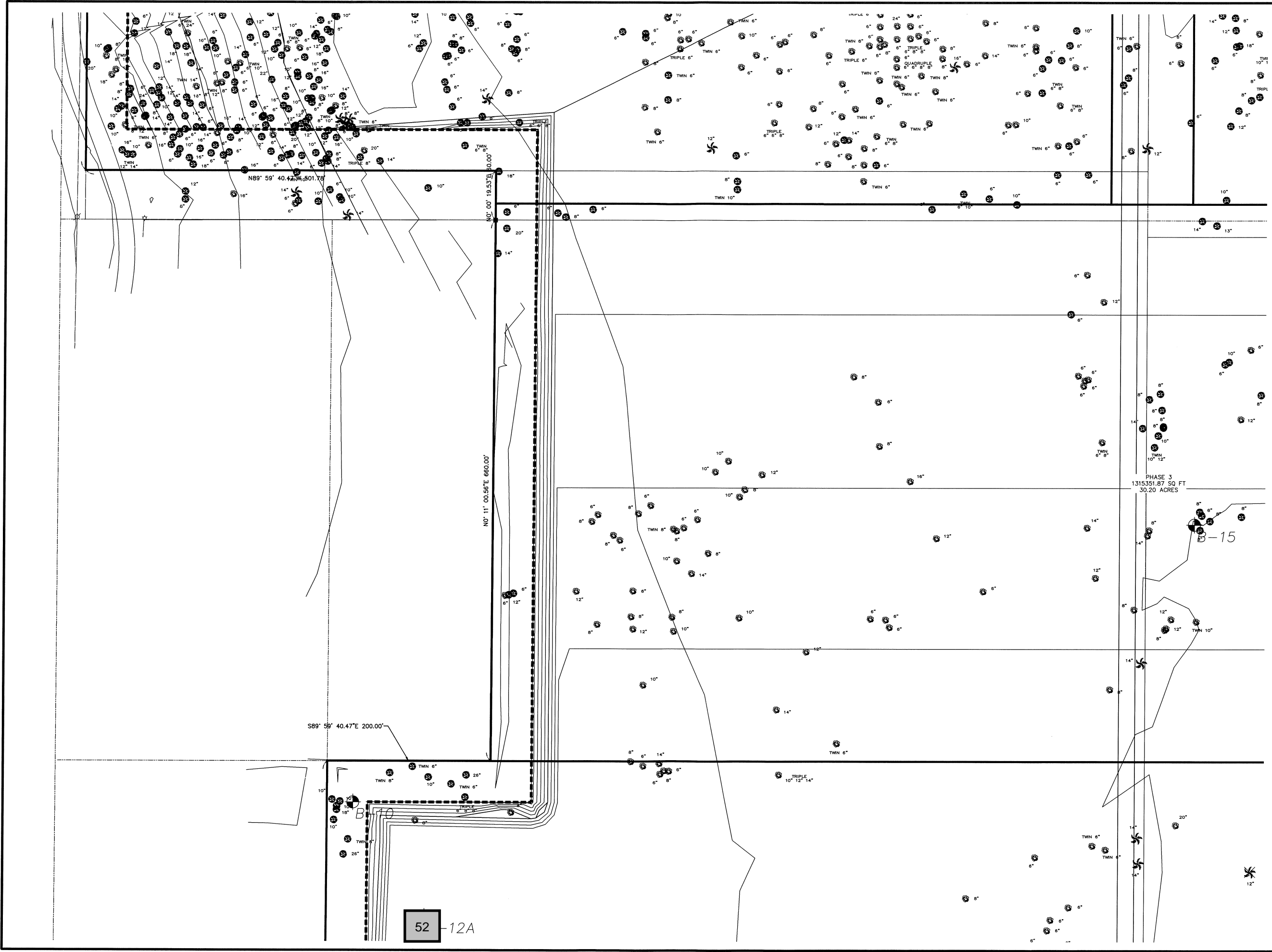
Storm Inlet

Concrete

Conservation Line

100 Year Flood





LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Conservation Line	
100 Year Flood	

Overall Mass Grading Plan  
Wekiva Parkway  
Industrial Park

DATE	REVISION	City Comments
2/9/16		

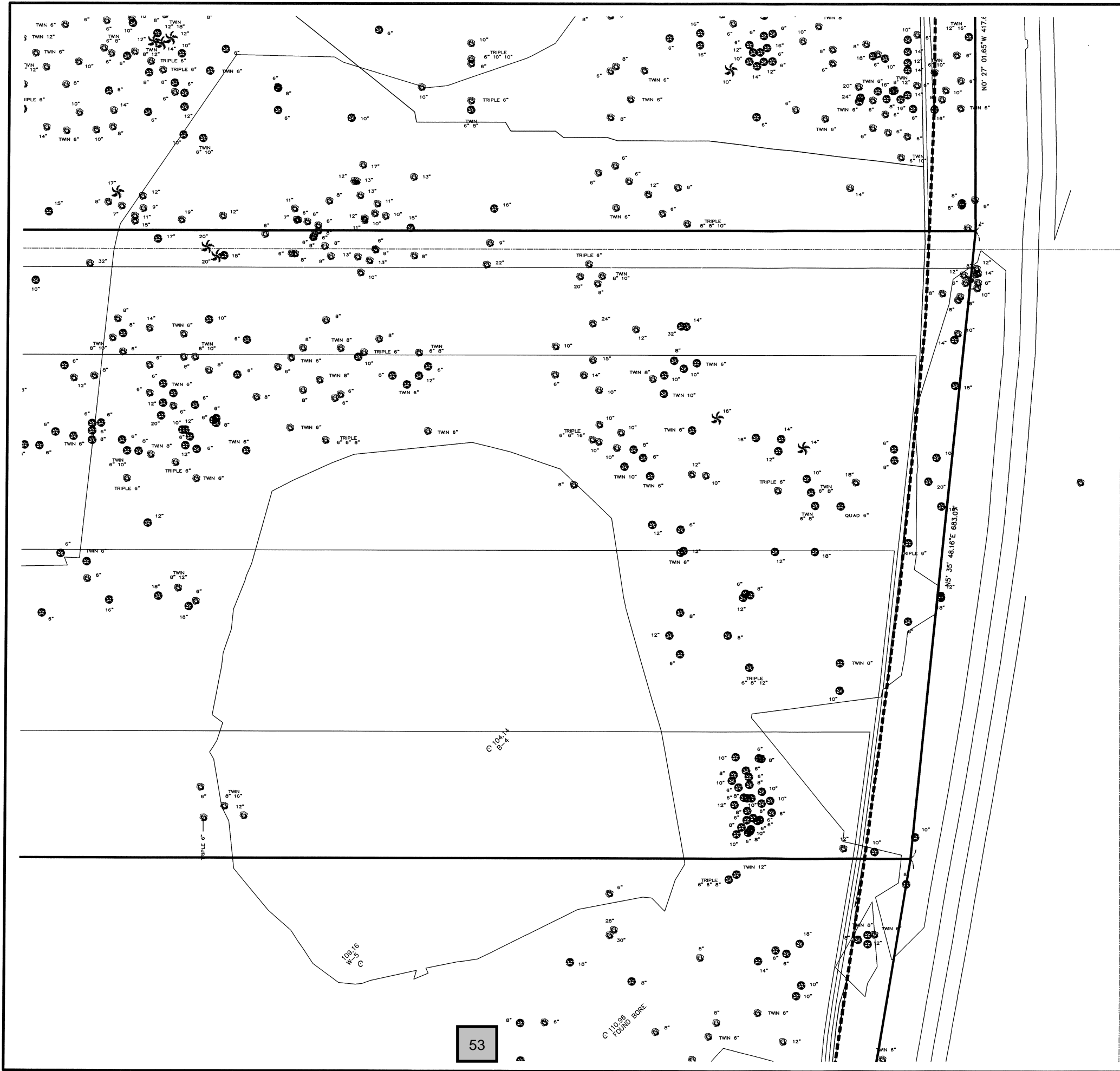
JEG  
June engineering  
consultants, inc.

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DATE: 6/16/15

SCALE: 1" = 50'





53

LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Conservation Line	
100 Year Flood	



Overall Mass Grading Plan  
Wekiva Parkway  
Industrial Park

DATE	REVISION	City Comments
2/9/16		

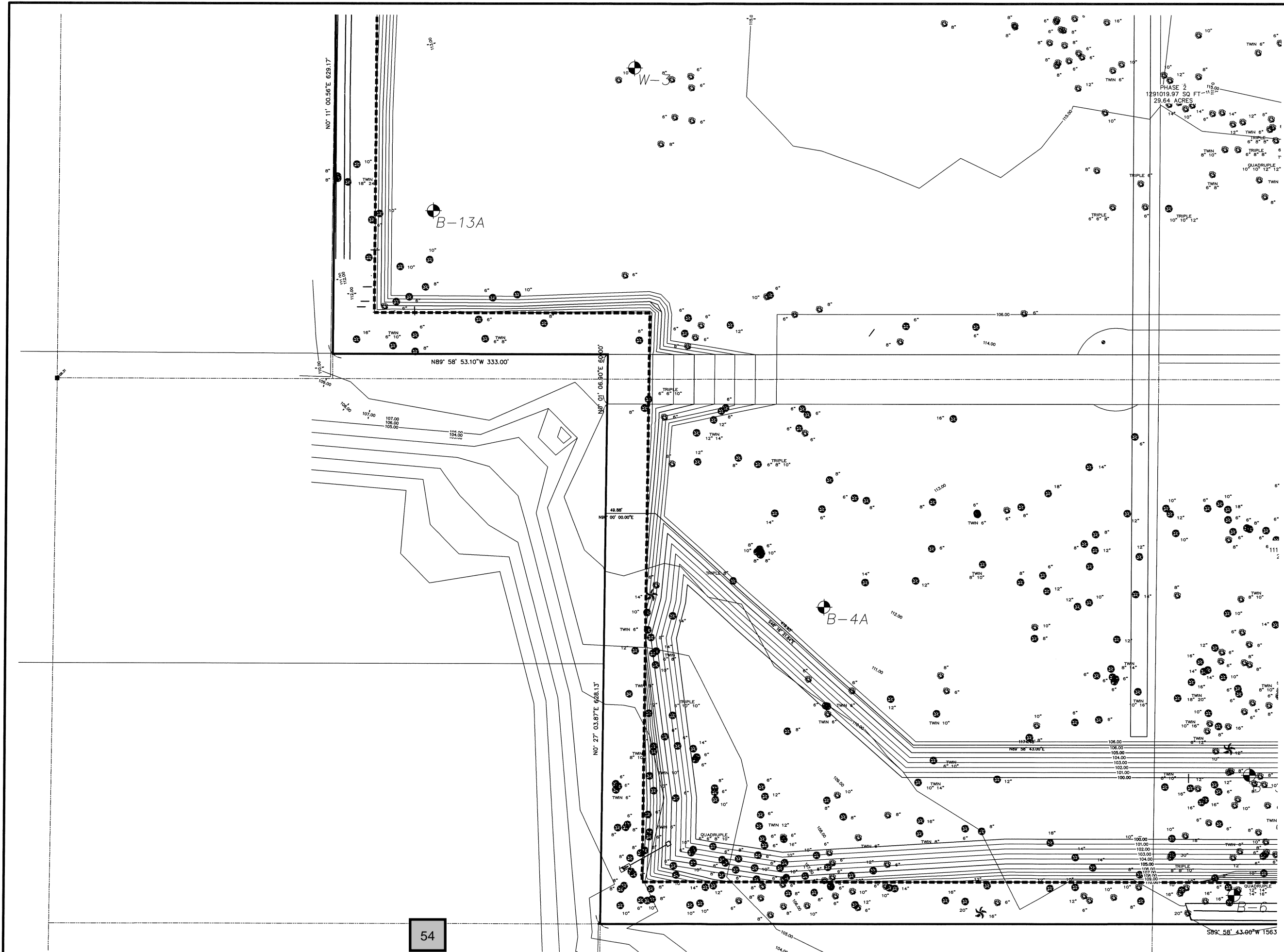
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consultants, inc.

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CHECKED BY: RJA  
DATE: 6/16/15

SCALE: 1" = 50'


JEFFREY A. SEDOFF  
PE# 51506



LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Conservation Line	
100 Year Flood	

Overall Mass Grading Plan  
Wekiva Parkway  
Industrial Park

DATE	REVISION	City Comments
2/9/16		



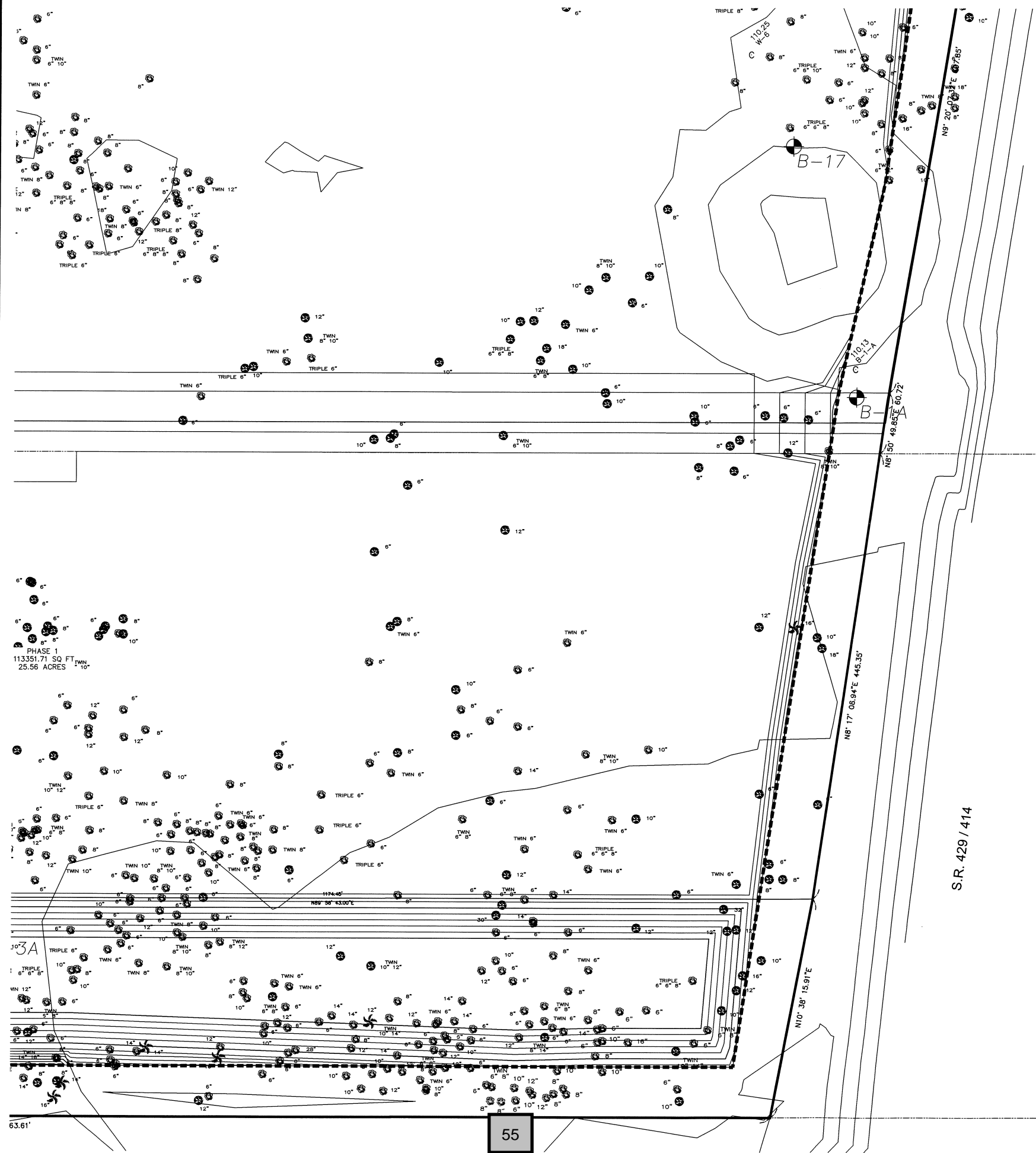
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DATE: 6/16/15



PHASE 1  
113351.71 SQ FT  
25.56 ACRES

30' 3A

55

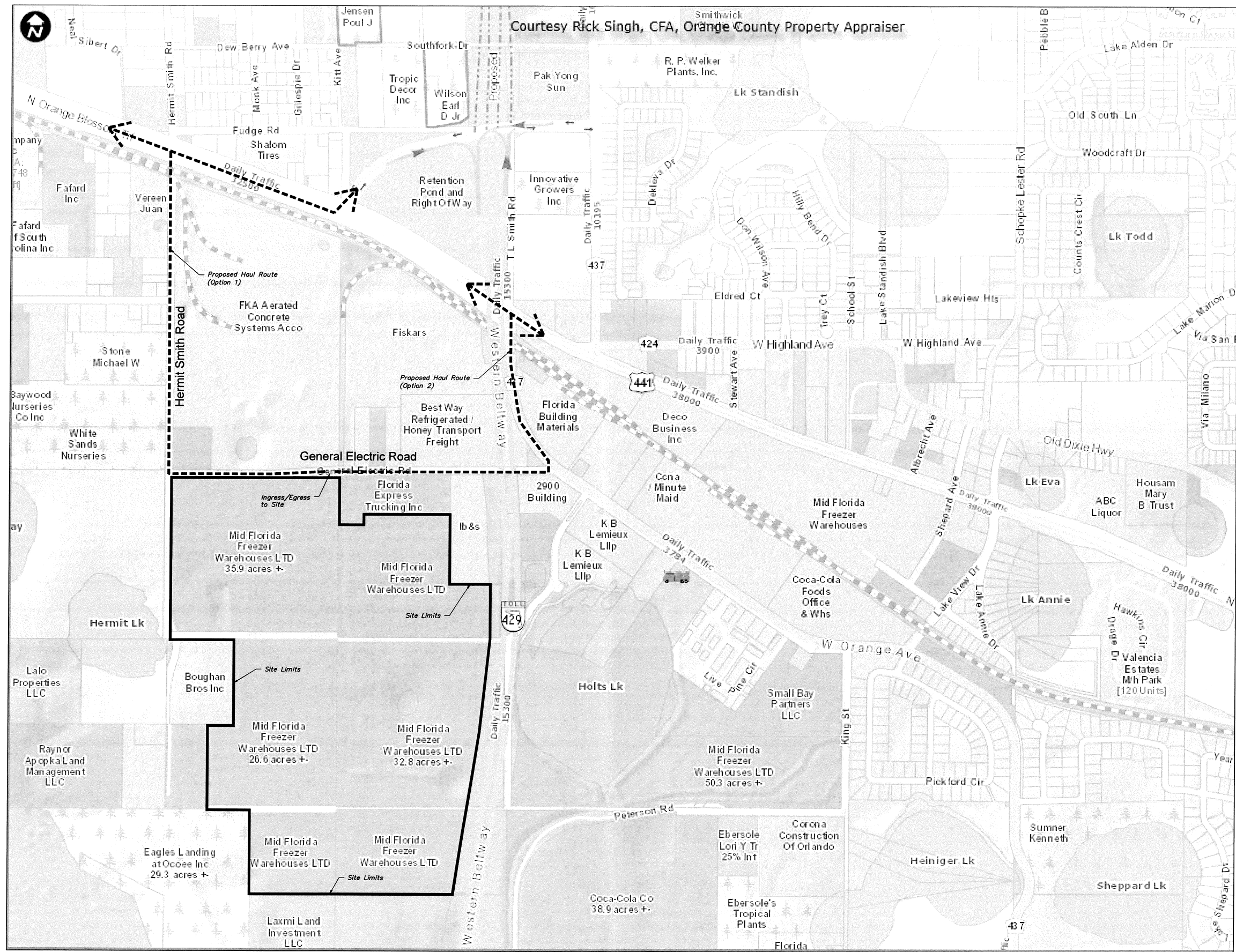
S.R. 429 / 414

LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Conservation Line	
100 Year Flood	

Overall Mass Grading Plan  
Wekiva Parkway  
Industrial Park

DATE	REVISION
2/9/16	City Comments

**JEG**  
June engineering  
CONSULTANTS, INC.  
32 W. Plant Street  
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DATE: 6/16/15 DATE: 6/16/15



DATE	REVISION
9/16/15	City Comments
2/9/16	City Comments

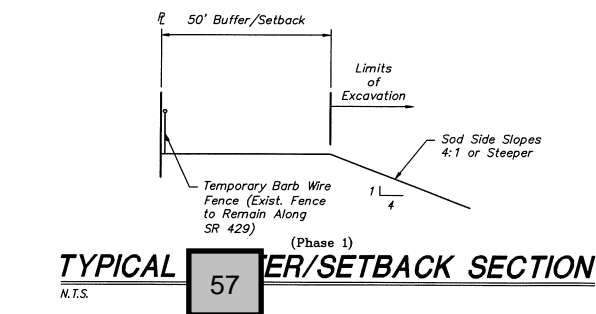
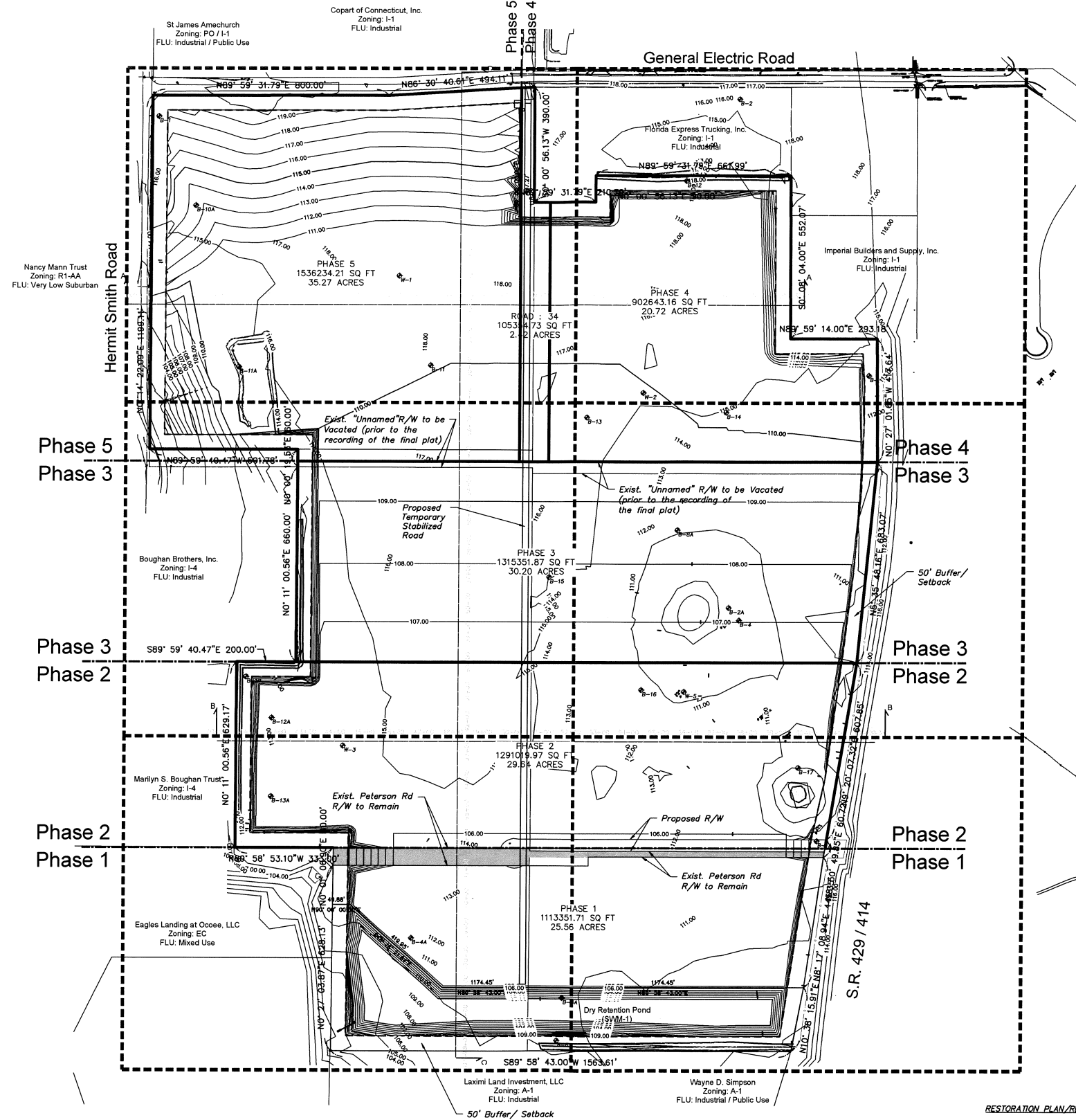
# Haul Route Plan Wekiva Parkway Industrial Park

**JEC** June engineering consultants, inc.  
32 W. Plant Street  
Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232  
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SCALE: 1" = 100'

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SHEET  
20  
OF 21



- RESTORATION PLAN/RECLAMATION PLAN:**
- AS SLOPES AND OTHER AREAS ARE COMPLETED THEY SHALL BE GRASSED AS MULCHED AS SOON AS POSSIBLE. SLOPES 4:1 OR STEEPER SHALL BE SODDED AND OTHER AREAS SHALL BE SEEDED AND MULCHED.
  - PINE TREES ARE PERMITTED TO BE PLANTED IN ALL AREAS IN LIEU OF GRASSING OR MULCHING FOR THE PURPOSE OF SILVICULTURE. THE PROPERTY WILL BE SEEDED AND THE OWNER WILL MONITOR AND REPAIR EROSION AREA IF ENCOUNTERED. THE NUMBER OF TREES TO BE PLANTED ARE APPROXIMATELY 500 TREES PER ACRE. PINE TREES PLANTED FOR SILVICULTURE PURPOSES MAY BE HARVESTED BY THE OWNER. PINE TREES WILL BE PLANTED WITHIN SIX MONTHS.
  - ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED UPON COMPLETION OF EACH PHASE.
  - RECLAMATION OF EACH PHASE SHALL OCCUR PRIOR TO START OF NEXT PHASE. ONLY ONE PHASE SHALL BE CLEARED AND GRADED AT A TIME UNLESS OTHERWISE AUTHORIZED BY THE CITY ENGINEER AFTER DEVELOPER DEMONSTRATES THROUGH A PERFORMANCE BOND FOR ADDITIONAL PHASES ASSURES THAT RECLAMATION WILL COMMENCE WITHIN ONE YEAR FROM START OF CLEARING AND GRADING.

LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Proposed Pavement	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Plan & Profile Sheet #	
Soil Type	
Conservation Line	
100 Year Flood	

DATE	REVISION
9/16/15	City Comments
2/9/16	City Comments
3/2/16	City Comments
4/27/16	City Comments

# Reclamation Plan Wekiva Parkway Industrial Park

	June engineering consultants, inc.	32 W. Plant Street Winter Garden, FL 34787 Ph. 407-905-8180 Fax 407-905-6232
	Certificate of Authorization #00031567	
DRAWN BY: CLK	CHECKED BY: RAJ	SCALE: 1" = 200'
DATE: 6/16/15	DATE: 6/16/15	

JEFFREY A. SEDLOFF  
PE# 51506

JOB NO.  
**14-0458**  
SHEET  
**21**  
OF 21

**Backup material for agenda item:**

2. PRELIMINARY DEVELOPMENT PLAN – Wekiva Parkway Industrial Park – Owned by Mid-Florida Freezer Warehouse, Ltd.; applicant and engineering firm is June Engineering Consultants, Inc., the property is located south of General Electric Road, east of Hermit Smith Road, and west of the Western Beltway (S.R. 429). (Parcel ID Nos.: 01-21-27-0000-00-030; 01-21-27-0000-00-060; 06-21-28-7172-12-060; 06-21-28-7172-13-000; 12-21-27-000-00-010; 12-21-27-0000-00-018) (140.47 +/- acres)





## CITY OF APOPKA PLANNING COMMISSION

☒ PUBLIC HEARING  
☐ SPECIAL REPORTS  
☐ PLAT APPROVAL  
☒ OTHER: Preliminary Dev. Plan

MEETING OF: May 24, 2016  
FROM: Community Development  
EXHIBITS: Vicinity Map  
Aerial Map  
Site Plan  
Landscape Plan

**PROJECT: WEKIVA PARKWAY INDUSTRIAL PARK – PRELIMINARY DEVELOPMENT PLAN**

**Request: RECOMMEND APPROVAL OF THE WEKIVA PARKWAY INDUSTRIAL PARK PRELIMINARY DEVELOPMENT PLAN SUBJECT TO CONDITIONS**

### **SUMMARY:**

OWNERS: Mid-Florida Freezer Warehouse, LTD.  
APPLICANT: June Engineering Consultants, Inc.  
ENGINEER: June Engineering Consultants, Inc., c/o Jeffrey A. Sedloff, P.E.  
LOCATION: South of General Electric Road, east of Hermit Smith Road and west of the Western Beltway (S.R. 429)  
EXISTING USE: Vacant Land  
FUTURE LAND USE: Industrial  
CURRENT ZONING: I-1  
PROPOSED DEVELOPMENT: Industrial Park (7 Lots)  
TRACT SIZE: 140.47 +/- Acres

### **DISTRIBUTION**

Mayor Kilshiemer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Industrial	I-1	Industrial Warehouse
East (City)	Industrial	I-1	Industrial Warehouse/S.R. 429
South (City)	Mixed Use	M-EC	Vacant land
South (County)	Rural	A-1	Vacant land
West (City)	Industrial/Mixed Use/RVLS	I-1/M-EC/R-1AA	Trucking Site/Vacant Land

**ADDITIONAL COMMENTS:** The Wekiva Parkway Industrial Park - Preliminary Development Plan is a 140 +/- acres industrial site, which will consist of seven (7) individual lots ranging from nine (9) to fifteen (15) acres in size and developed in four (4) phases. This site is located south of General Electric Road, east of Hermit Smith Road and west S.R. 429.

**UTILITY/ACCESS:** The site will be serviced by City water, sewer and reclaimed water. There are two proposed access points to the site with the primary entrance point being located on General Electric Road and a secondary access point located onto Hermit Smith Road. There is currently an unnamed and unmaintained road right-of way-running through the center of the property. Prior to final plat approvals the applicant will be requesting to vacate of the right-of-way.

**STORMWATER:** The stormwater management system will be handled by three on-site dry retention ponds. The stormwater ponds have been designed to meet the City's Land Development Code requirements.

**LANDSCAPE AND BUFFERS:** Landscaping for the all lots, tracts and roadway buffers will occur at the construction of each individual lot. The applicant proposes that the construction of all buffer requirements will be constructed on a lot-by-lot basis. As each lot owner is responsible for construction of the buffer wall at the time each lot is developed. The planting materials and irrigation system design shall be consistent with the water-efficient landscape standards set forth in Ordinance No. 2069. A fifty (50) foot wide natural buffer will be maintained around the perimeter of the site.

**TREE PROGRAM:** The applicant will be required to demonstrate the site meets this tree stock requirement on the final development plan or contribute into the tree bank mitigation program, if applicable.

Total inches on-site:	38,771
Total number of specimen trees:	124
Total inches removed:	35,784
Total inches retained:	2,863
Total inches required:	20,869
Total inches replaced:	0
Total inches post development:	2,863
Tree inches Deficit	18,006

The City's Land Development Code and Tree Bank policy permit the applicant to make a contribution to the City's Tree Bank to mitigate the remaining deficient tree inches at \$10.00 per inch. The total amount required to be paid into the Tree Bank will be (\$108,060) dollars



**ORANGE COUNTY NOTIFICATION:** The County was notified at the time of the land use amendment and rezoning application for this property, and coordination occurred with County planning staff regarding impact on adjacent parcels.

**CONDITIONS OF APPROVAL:**

1. A plat shall not be recorded until City has approved right-of-way vacate for unnamed road right of way within the project site.
2. An eighty foot-wide public right-of-way shall be provided within the Preliminary Development Plan for Peterson Road within the lands owned by Mid-Florida Freezer.
3. A development agreement must be approved by City Council that addresses opportunities for a right-of-way land swap regarding extension of north-south road through Mid-Florida Freezer Parcel Number 06-21-28-7177-00-011, King Street ROW, and public ROW to be vacated within the Preliminary Development Plan.
4. Fern Industrial Drive shall be constructed in one phase and the lift station shall be dedicated to the City.
5. Stormwater management system must meet the requirements of the City's development standards, as determined by the city engineer.

**PUBLIC HEARING SCHEDULE:**

Planning Commission – May 24, 2016, 5:30 p.m.

City Council – June 15, 2016, 7:00 p.m.

---

**RECOMMENDED ACTION:**

The **Development Review Committee** recommends approval of the Wekiva Parkway Industrial Park - Preliminary Development Plan, subject to the findings of this staff report and the conditions of approval.

**Planning Commission Recommendation:** The role of the Planning Commission for this development application is to advise the City Council to approve, deny or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code.

Recommend approval of the Preliminary Development Plan for the Wekiva Parkway Industrial Park owned by Mid-Florida Freezer, LTD, and located south of General Electric Road, east of Hermit Smith Road and west of the Western Beltway (S.R. 429).

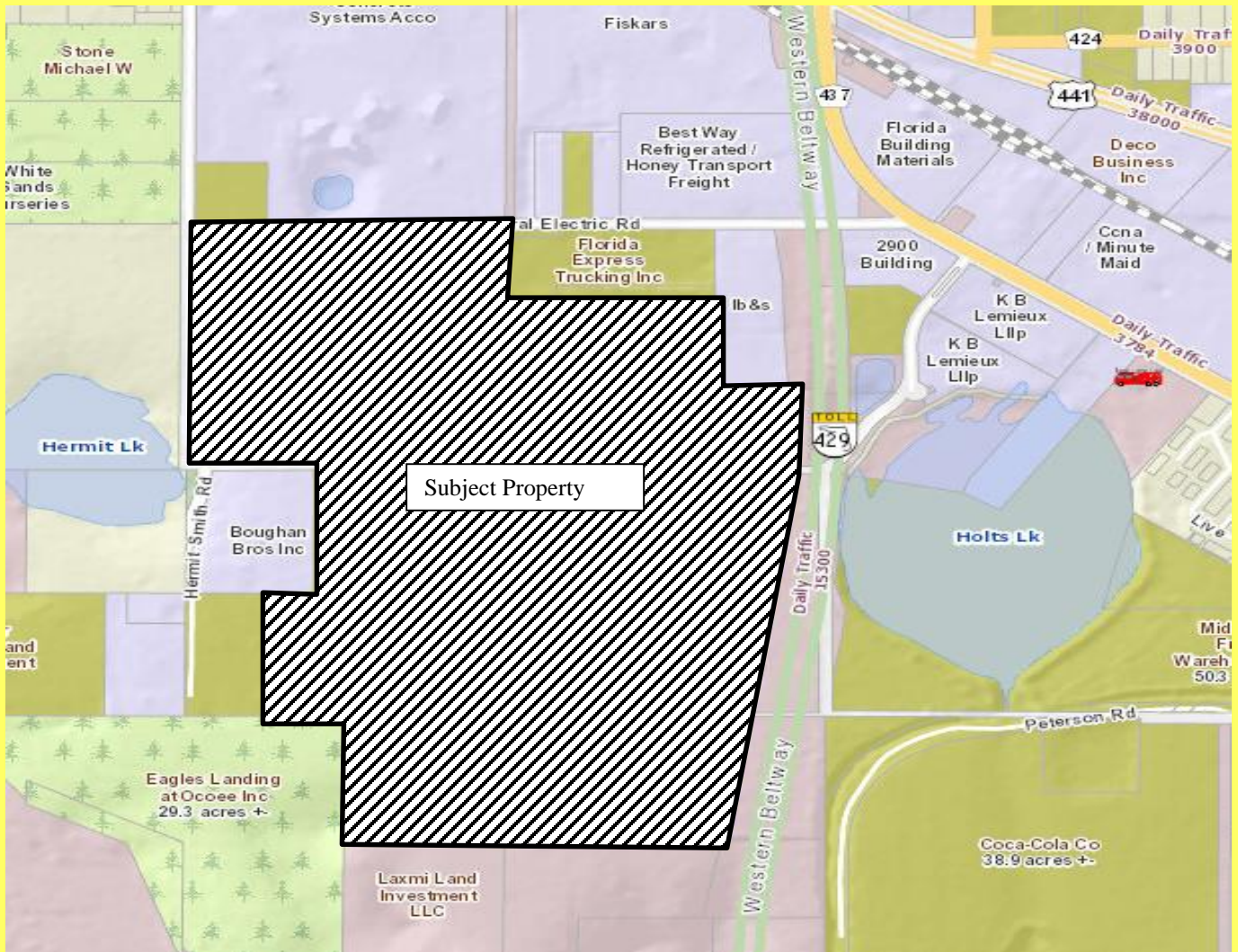
**Note:** This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

PLANNING COMMISSION – MAY 24, 2016  
WEKIVA PARKWAY INDUSTRIAL PARK- PRELIMINARY DEVELOPMENT PLAN  
PAGE 4

Application: Wekiva Parkway Industrial Park Preliminary Development Plan  
Owner: Mid Florida Freezer Warehouse, LTD  
Applicant: June Engineering, Inc.  
Engineer: Jeffrey A. Sedloff, P.E.  
Parcel ID No.s: 01-21-27-0000-00-030, 01-21-27-0000-00-060, 06-21-28-7172-12-060,  
06-21-28-7172-13-000, 12-21-27-000-00-010 & 12-21-27-0000-00-018  
Total Acres: 140.47 +/-



## VICINITY MAP





## AERIAL MAP

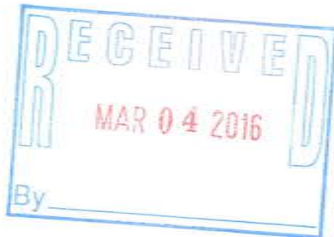




# WEKIVA PARKWAY INDUSTRIAL PARK

## PRELIMINARY

## DEVELOPMENT PLAN



DESCRIPTION:

PARCEL 01-21-27-0000-00-060

THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER IN SECTION 1, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LESS ROAD RIGHT OF WAY.

PARCEL 01-21-27-0000-00-030

THE EAST 3/4 OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, LESS THE WEST 200 FEET OF THE NORTH 660 FEET AND LESS THE SOUTH 30 FEET FOR RIGHT-OF-WAY, SECTION 1, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

PARCEL 06-21-28-7172-12-060

LOTS 2, 3, 4, 5 & 7, AND 9 OF BLOCK L, TOWN OF PLYMOUTH, AS PER RECORDED PLAT IN PLAT BOOK 8, PAGES 17-18, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 06-21-28-7172-13-000

ALL OF BLOCK "M", TOWN OF PLYMOUTH, AS PER RECORDED PLAT THEREOF RECORDED IN PLAT BOOK "B", PAGES 17-18, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 12-21-27-0000-00-010

THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, LESS THE NORTH 30 FEET FOR RIGHT-OF-WAY, SECTION 12, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

PARCEL 12-21-27-0000-00-018

THE NORTH HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER, SECTION 12, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

LYING WEST OF STATE ROAD 429 (WESTERN BELTWAY)



Location Map

INDEX OF SHEETS	
SHEET TITLE	No.
Cover Sheet	1
Detail Sheet	2
Existing Conditions	3
Overall Preliminary Development Plan	4
Preliminary Development Plan	5-10
Stormwater Pollution Prevention Plan	11
Wetland Inventory Plan	12
Overall Tree Plan	13
Tree Plan	14-19
Landscape & Irrigation Plan	L-1

Site Data / Development Information

Parcel ID Number: 01-21-27-0000-00-030; 01-21-27-0000-00-060; 06-21-28-7172-12-060; 06-21-28-7172-13-000; 12-21-27-0000-00-010; 12-21-27-0000-00-018

Land Area: 140.47 Ac.

Zoning: I-1

Exist. Land Use: Industrial

Proposed Land Use: Industrial

Proposed Number of Lots: 7

Min. Lot Area: 15,000 sf

Max. Building Height: 35 feet

Min. Lot Width: 100

Min Lot Depth: 150

Min. Yard Setbacks:  
Front 25 feet  
Side 10 feet  
Side Corner 25 feet  
Rear 10 feet

FAR: 60% Max.

Phasing: 4 Phases

100 Year Flood Plain: This site is located in Zone "X" area of minimal flooding as per FEMA FIRM Map numbers 12095C0110F revised September 25, 2009

OWNER/DEVELOPER:	MID-FLORIDA FREEZER 2560 W. ORANGE BLOSSOM TRAIL APOPKA, FL 32712	(407) 886-1971
ENGINEER:	JUNE ENGINEERING CONSULTANTS, INC. 32 W. PLANT STREET WINTER GARDEN, FL 34787	(407) 905-8180
SURVEYOR:	BISHMAN SURVEYING & MAPPING 32 W. PLANT STREET WINTER GARDEN, FL 34787	(407) 905-8877
GEOTECHNICAL ENGINEER:	ECS FLORIDA, LLC 2815 DIRECTORS ROW, SUITE 500 ORLANDO, FL 32809	(407) 859-8378
ENVIRONMENTAL CONSULTANT:	BIO-TECH CONSULTING, INC. 2002 E. ROBINSON STREET ORLANDO, FL 32803	(407) 894-5969

UTILITY SERVICE PROVIDERS:

WATER/SEWER/REUSE:	CITY OF APOPKA 748 E. CLEVELAND STREET APOPKA, FL 32703	(407) 703-1731
ELECTRIC:	DUKE ENERGY 425 E. CROWN POINT ROAD WINTER GARDEN, FL 34787	(407) 905-3302
PHONE:	CENTURYLINK P.O. BOX 770339 WINTER GARDEN, FL 34777	(407) 814-5373
CABLE:	BRIGHTHOUSE NETWORKS 844 MAGUIRE ROAD OCFEE, FL 34761	(407) 291-2500
NATURAL GAS:	LAKE APOPKA NATURAL GAS 1320 WINTER GARDEN VINELAND ROAD WINTER GARDEN, FL 34787	(407) 656-2734



- 2 Archbold Fine Sand, 0 to 5 Percent Slopes  
33 Pits  
34 Pomello Fine Sand, 0 to 5 Percent Slopes  
38 St. Lucie Fine Sand, 0 to 5 Percent Slopes  
46 Tavares Fine Sand, 0 to 5 Percent Slopes  
47 Tavares-Milhopper Fine Sands, 0 to 5 Percent Slopes  
54 Zolfo Fine Sand  
99 Water

SOILS MAP  
N.T.S.

Variance or Waiver Request Table				
Code #	Code Requirement	(V/W)	Request	Justification
			64	

September 22, 2015  
Revised March 3, 2016



june engineering  
consultants, inc.

32 W. Plant Street  
Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232

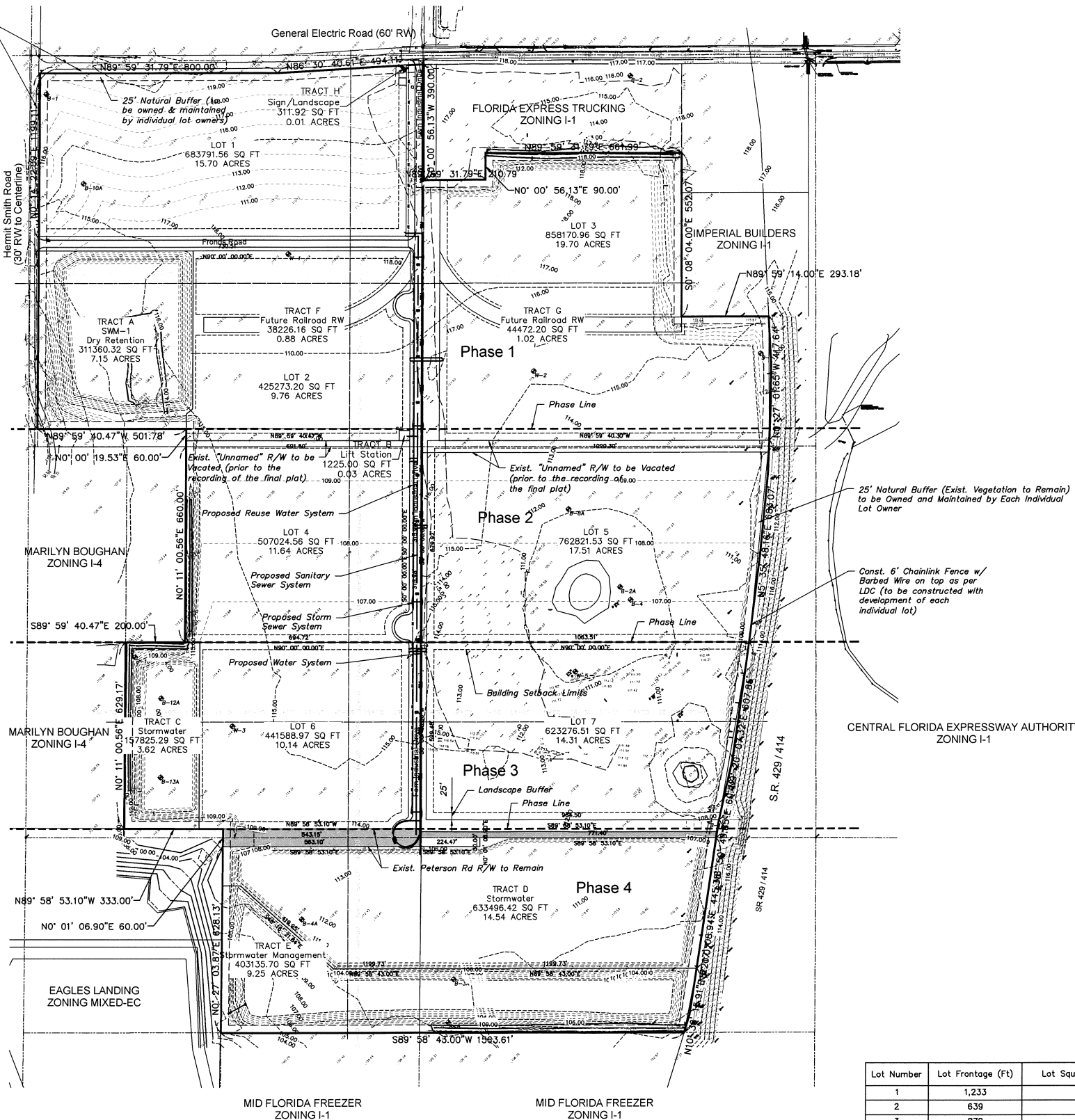
Certificate of Authorization #00031567

JEFFREY A. SEDLOFF  
PE# 51506

FKA AERATED CONCRETE SYSTEMS  
ZONING I-1

Const. 5' Concrete Sidewalk (along  
General Electric Road and Hermit  
Smith Road property frontages as  
part of Phase 1 Infrastructure)

NANCY MANN TRUST  
ZONING R-1AA



65

DATE	REVISION
11/2/15	City Comments
3/2/16	City Comments

Overall Preliminary  
Development Plan  
Wekiva Parkway Industrial Park



june engineering  
consultants, inc.

32 W. Plant Street  
Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232

Certificate of Authorization #00031567

DRAWN BY: CLK

CHECKED BY: RAJ

SCALE

DATE: 6/16/15

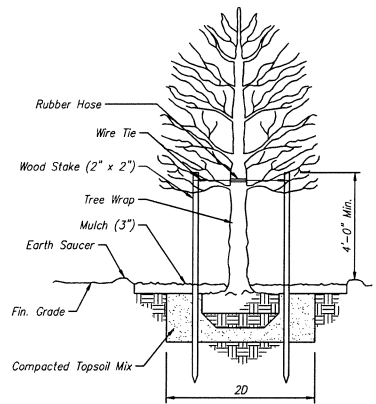
DATE: 6/16/15

1" = 200'

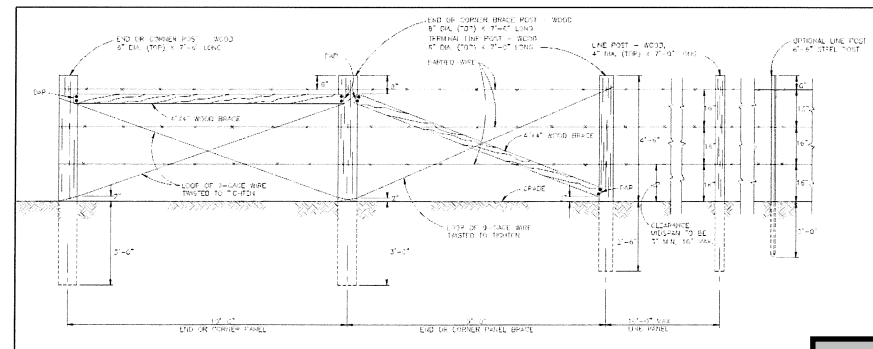
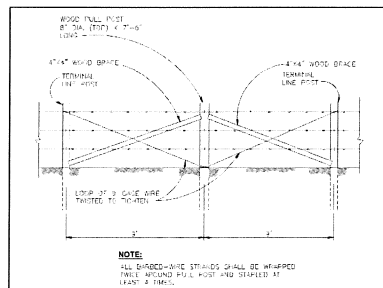
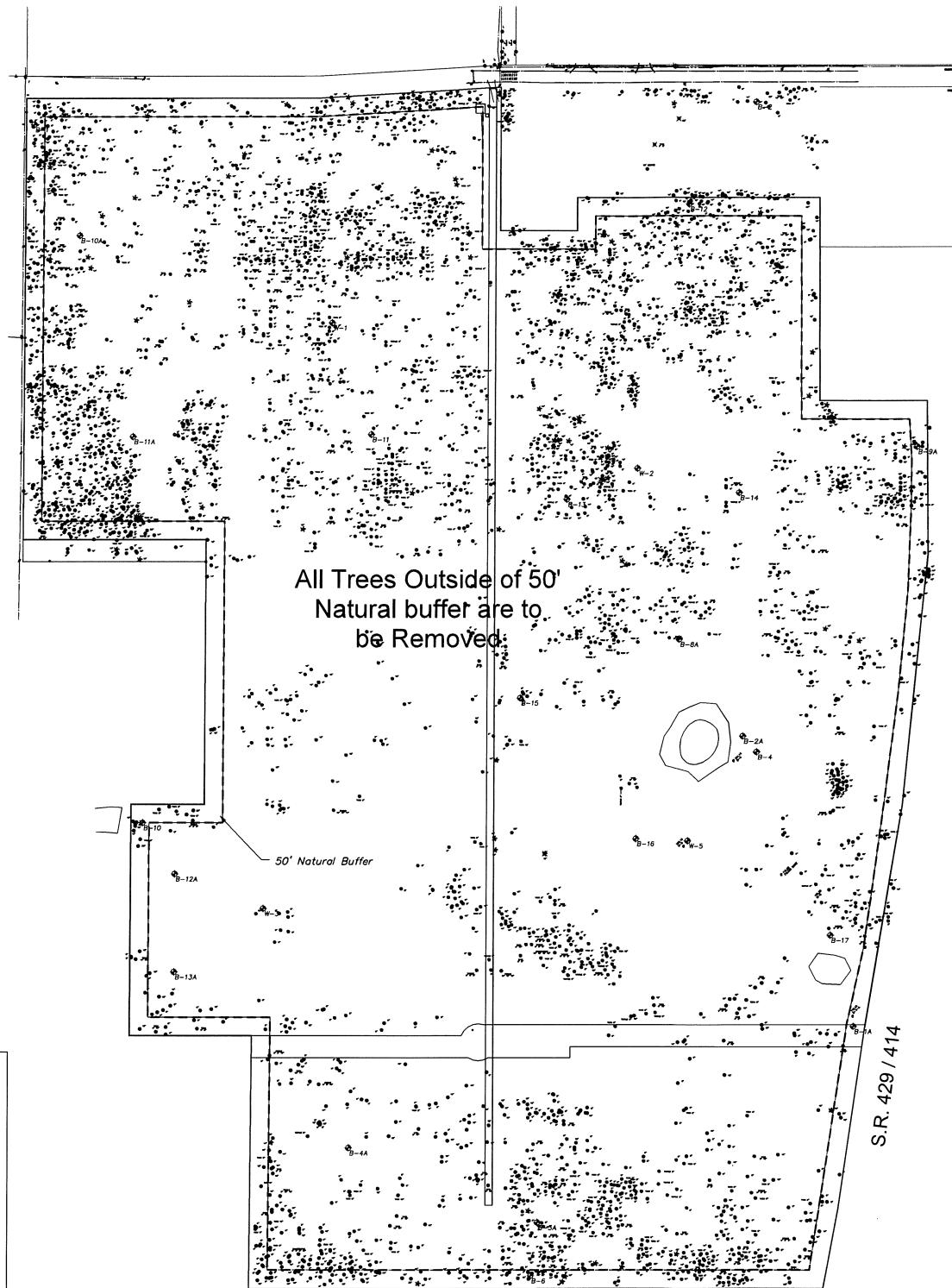
JEFFREY A. SEDLOFF  
PE# 51506

JOB NO.  
14-0458  
SHEET  
4  
OF 19





**TREE PLANTING DETAIL**  
N.T.S.



**"TEMPORARY" BARBED WIRE FENCE DETAIL**  
N.T.S.

66

Total Tree Inches on-site (pre-development) 38,771  
Total Tree Inches Removed 35,784  
Total Retained Tree Inches (non-specimen) 2,863  
Total Retained Tree Inches (specimen, 24" DBH or Greater) 124  
Total Tree Inches Replaced 0  
Total Tree Inches on-site (post-development) 2,987  
Total Number of Specimen (24" DBH or Greater) Trees being Removed 17  
Total Specimen Inches Removed 462  
Site Clearing Area 5,962,700 sf (136.885 Ac.)

Existing Tree Information			
Tree Type	Size (Inches)	Number of Trees	Total Inches
Oaks	6	643	3858
	7	1	7
	8	367	2936
	10	316	3160
	12	192	2304
	13	1	13
	14	106	1484
	15	3	45
	16	71	1136
	17	1	17
	18	44	792
	20	10	200
	22	5	110
	24	11	264
	26	3	78
	28	3	84
	30	2	60
	32	2	64
	36	1	36
	Total Oaks		16,648
Palms	8	8	64
	10	11	110
	12	28	336
	14	35	490
	16	11	176
	17	1	17
	18	3	54
	20	3	60
	24	3	72
	Total Palms		1,379
Pines	10	2	20
	12	2	24
	16	1	16
	Total Pines		60
Various	6	1067	6402
	7	2	14
	8	624	4992
	9	3	27
	10	334	3340
	11	4	44
	12	211	2532
	13	5	65
	14	96	1344
	15	2	30
	16	37	592
	17	1	17
	18	24	432
	19	1	19
	20	10	200
	22	6	132
	24	10	240
	26	4	104
	28	1	28
	30	1	30
	32	2	64
	36	1	36
	Total Various		20,684



KEY	BOTANICAL NAME	COMMON NAME	SIZE
QV	Quercus Virginiana	Live Oak	10'-12' Ht. 8'-10' Spd., 65 gal. 3" DBH 6" Cir. Trk.
SP	S. Babylonica	Sable Palm	10'-12' Ht. Clear Trunk 3" Caliper DBH

DATE	REVISION
9/16/15	City Comments
2/9/16	City Comments

Overall Tree / Landscape  
Wekiva Parkway  
Industrial Park



June engineering  
consultants, inc.  
32 W. Plant Street  
Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232  
Certificate of Authorization #00008507

DRAWN BY: CLK CHECKED BY: RAJ SCALE: 1" = 200'  
DATE: 6/16/15 DATE: 6/16/15

JEFFREY A. SEDLOFF  
PE# 51506

JOB NO.  
14-0458  
SHEET  
13  
OF 21

# WEKIVA PARKWAY INDUSTRIAL PARK PRELIMINARY DEVELOPMENT PLAN

## DESCRIPTION:

PARCEL 01-21-27-0000-00-060

THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER IN SECTION 1, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LESS ROAD RIGHT OF WAY.

PARCEL 01-21-27-0000-00-030

THE EAST 3/4 OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, LESS THE WEST 200 FEET OF THE NORTH 660 FEET AND LESS THE SOUTH 30 FEET FOR RIGHT-OF-WAY, SECTION 1, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA

PARCEL 06-21-26-7172-12-060

LOTS 2, 3, 4, 5 & 7, AND 9 OF BLOCK L, TOWN OF PLYMOUTH, AS PER RECORDED PLAT IN PLAT BOOK 8, PAGES 17-18, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 06-21-26-7172-13-000

ALL OF BLOCK "M", TOWN OF PLYMOUTH, AS PER RECORDED PLAT THEREOF RECORDED IN PLAT BOOK "19", PAGES 17-18, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

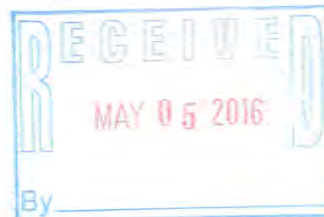
PARCEL 12-21-27-0000-00-010

THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, LESS THE NORTH 30 FEET FOR RIGHT-OF-WAY, SECTION 12, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

PARCEL 12-21-27-0000-00-018

THE NORTH HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER, SECTION 12, TOWNSHIP 21 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

LYING WEST OF STATE ROAD 429 (WESTERN BELTWAY)



Location Map

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Overall Preliminary Development Plan	4
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Wetland Inventory Plan	12
Overall Tree Plan	13
Tree Plan	14-19
Landscape & Irrigation Plan	L-1

## Site Data / Development Information

Parcel ID Number: 01-21-27-0000-00-030; 01-21-27-0000-00-060; 06-21-26-7172-12-060; 06-21-26-7172-13-000; 12-21-27-0000-00-010; 12-21-27-0000-00-018

Land Area: 140.47 Ac.

Zoning: I-1

Exist. Land Use: Industrial

Proposed Land Use: Industrial

Proposed Number of Lots: 6

Min. Lot Area: 15,000 sf

Max. Building Height: 35 feet

Min. Lot Width: 100

Min. Lot Depth: 150

Min. Yard Setbacks:

Front 25 feet

Side 10 feet

Side Corner 25 feet

Rear 10 feet

FAR: 60% Max.

Phasing: 4 Phases

100 Year Flood Plain: This site is located in Zone "X" area of minimal flooding as per FEMA FIRM Map numbers 12095C0110F revised September 25, 2009

OWNER/  
DEVELOPER: MID-FLORIDA FREEZER  
2560 W. ORANGE BLOSSOM TRAIL  
APOPKA, FL 32712 (407) 886-1971

ENGINEER: JUNE ENGINEERING CONSULTANTS, INC.  
32 W. PLANT STREET  
WINTER GARDEN, FL 34787 (407) 905-8180

SURVEYOR: BISHMAN SURVEYING & MAPPING  
32 W. PLANT STREET  
WINTER GARDEN, FL 34787 (407) 905-8877

GEOTECHNICAL  
ENGINEER: ECS FLORIDA, LLC  
2815 DIRECTORS ROW, SUITE 500  
ORLANDO, FL 32809 (407) 859-8378

ENVIRONMENTAL  
CONSULTANT: BIO-TECH CONSULTING, INC.  
2002 E. ROBINSON STREET  
ORLANDO, FL 32803 (407) 894-5989

## UTILITY SERVICE PROVIDERS:

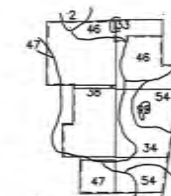
WATER/SEWER/  
REUSE: CITY OF APOPKA  
748 E. CLEVELAND STREET  
APOPKA, FL 32703 (407) 703-1731

ELECTRIC: DUKE ENERGY  
425 E. CROWN POINT ROAD  
WINTER GARDEN, FL 34787 (407) 905-3302

PHONE: CENTURYLINK  
P.O. BOX 770339  
WINTER GARDEN, FL 34777 (407) 814-5373

CABLE: BRIGHTHOUSE NETWORKS  
844 MAGUIRE ROAD  
OCFEE, FL 34761 (407) 291-2500

NATURAL GAS: LAKE APOPKA NATURAL GAS  
1320 WINTER GARDEN VINELAND ROAD  
WINTER GARDEN, FL 34787 (407) 656-2734



- 2 Archbold Fine Sand, 0 to 5 Percent Slopes  
33 Fills  
34 Pamella Fine Sand, 0 to 5 Percent Slopes  
38 St. Lucie Fine Sand, 0 to 5 Percent Slopes  
46 Tavares Fine Sand, 0 to 5 Percent Slopes  
47 Tavares-Millhopper Fine Sands, 0 to 5 Percent Slopes  
54 Zolfo Fine Sand  
99 Water

## SOILS MAP N.T.S.

Variance or Waiver Request Table				
Code #	Code Requirement	(V/W)	Request	Justification
			67	

September 22, 2015  
Revised March 3, 2016

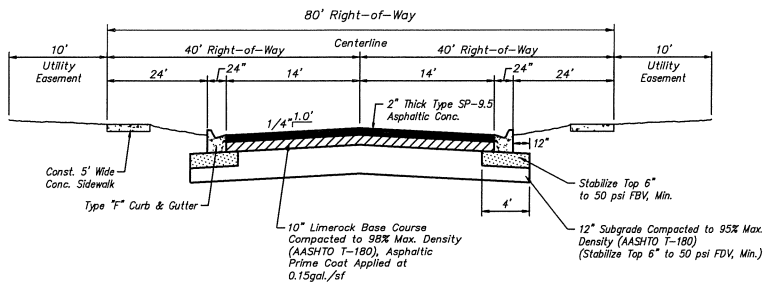


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Ph. 407-905-8180  
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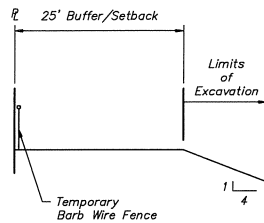
Certificate of Authorization #00031567

JEFFREY A. SEDLOFF  
PE# 51506



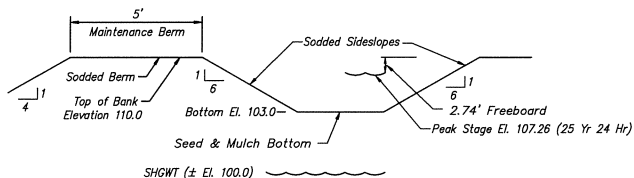
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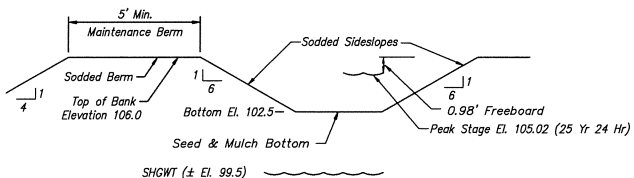
**TYPICAL BUFFER/SETBACK SECTION**

NTS



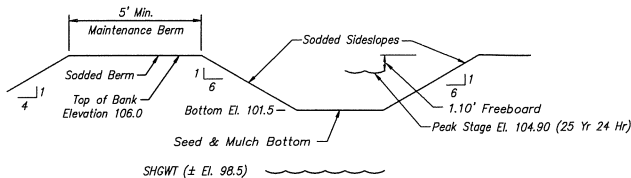
**TYPICAL POND SECTION**

NTS



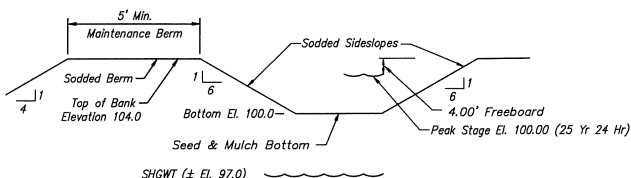
**TYPICAL POND SECTION**

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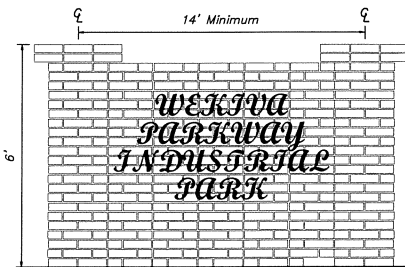
**TYPICAL POND SECTION**

NTS



**TYPICAL POND SECTION**

NTS



**WALL SIGN DETAIL**

NTS

#### FIRE DEPARTMENT NOTES

- ALL ROADWAYS, WATER LINE INFRASTRUCTURE AND FIRE HYDRANTS SHALL BE IN PLACE BEFORE BUILDING CONSTRUCTION MAY BEGIN.
- IF COMPLEX IS GATED MUST HAVE OPTICOM VISUAL TYPE ACTIVATION FOR EMERGENCY VEHICLES, YELP SIREN ACTIVATION, AND KEY CODE 1882 FOR EMERGENCY ACCESS.
- FIRE HYDRANTS MUST BE LOCATED WITHIN 250 FEET OF ALL STRUCTURES.
- FIRE HYDRANTS SHALL BE MARKED WITH A BLUE ROAD REFLECTOR.
- FOLLOW FLORIDA STATUTE 633.027 CONCERNING LIGHT FRAME TRUSS CONSTRUCTION.
- FOLLOW CURRENT NFPA AND FLORIDA FIRE PREVENTION CODE CONCERNING FIRE AND LIFE SAFETY.

#### GENERAL NOTES

- ALL CONSTRUCTION INCLUDING BUT NOT LIMITED TO CLEARING, GRUBBING, EXCAVATION, EMBANKMENT, GRADING, GRASSING, STORM PIPE, STORM STRUCTURES, UNDERDRAIN, PAVING, CURBING, SIDEWALKS, WATER MAINS, WATER SERVICES, SEWER MAINS AND SERVICES, AND MATERIAL TESTING SHALL CONFORM TO CITY OF APOPKA AND TO THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MOST RECENT EDITIONS.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED UPON COMPLETION OF CONSTRUCTION. SLOPED AREAS, SWALES, POND SIDE SLOPES, ETC. MAY BE REQUIRED TO BE SEEDED. CITY OF APOPKA WILL REVIEW ANY OF THESE AREAS PRIOR TO CERTIFICATE OF ACCEPTANCE.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES.
- THE FLOWLINES OF ALL CURBS SHALL BE GRADED TO OBTAIN A MINIMUM GRADE OF 0.30% AND SHALL DRAIN POSITIVELY TO ALL INLETS.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SUPPLIED BY BISHMAN SURVEYING & MAPPING, INC.
- UTILITIES SHOWN WERE LOCATED FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND PROTECTION OF ALL UTILITIES THAT MAY EXIST.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE COUNTY DATUM PER BENCHMARK NUMBER S1302081, ELEVATION 87.007 (NAVD 88).
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE EROSION AND SEDIMENT CONTROL THROUGHOUT THE CONSTRUCTION PHASE WHICH SHALL INCLUDE, BUT NOT LIMITED TO THE PLACEMENT OF SILT FENCES, STACKED SYNTHETIC BALES OR OTHER SIMILAR STRUCTURES ALONG THE PERIMETER OF THE SITE. THIS WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND THE FLORIDA DEPARTMENT OF TRANSPORTATION AS OUTLINED IN F.D.O.T. STANDARD INDEX #102. THE CONTRACTOR SHALL PROVIDE AN EROSION CONTROL PLAN. STORM INLETS WILL BE REQUIRED TO HAVE SEDIMENT PROTECTION, SUCH AS PERFORATED PIPES WITH SOCKS.
- STRIPPINGS AND ALL UNCLASSIFIED MATERIALS MUST BE REMOVED FROM RETENTION AREAS AND ROADWAYS AND DISPOSED OF OFFSITE AS DIRECTED BY ENGINEER.
- SOILS REPORT BY ECS FLORIDA, LLC.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY JUNE ENGINEERING CONSULTANTS, INC. OF ANY PROBLEMS REQUIRING DEVIATION FROM THESE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE AS-BUILT INFORMATION TO ENGINEER ON THE FOLLOWING ITEMS: PAVING GRADES AT POINTS SHOWN ON THESE PLANS; ALL STORM STRUCTURE AND PIPING INVERTS AND LOCATIONS; ALL WATER MAIN, SERVICES, FIRE HYDRANTS, VALVES, AND BLOWOFF LOCATIONS.
- STORM PIPE MEASUREMENTS SHOWN ARE MEASURED TO END OF MITERED END SECTIONS AND TO THE CENTER OF STORM STRUCTURES. SANITARY PIPE MEASUREMENTS ARE TO CENTER OF STRUCTURE.
- INDIVIDUAL LOT OWNERS WILL BE REQUIRED TO CONSTRUCT DRIVEWAYS AND SIDEWALKS AT THE TIME OF INDIVIDUAL CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO CONSTRUCT SIDEWALKS WHERE REQUIRED ALONG RETENTION PONDS AND COMMON TRACTS AS PART OF THE INFRASTRUCTURE.
- CONTRACTOR SHALL COORDINATE PLACEMENT OF ALL UNDERGROUND CONDUITS NEEDED FOR UTILITIES AND IRRIGATION.
- CONTRACTOR SHALL ACQUIRE, REVIEW, AND MEET ALL CONDITIONS OF PERMITS PERTAINING TO THE CONSTRUCTION OF PROJECT INCLUDING BUT NOT LIMITED TO CITY OF APOPKA, ST. JOHNS RIVER WATER MANAGEMENT AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION.
- CONTRACTOR SHALL USE PLAT FOR ALL CONSTRUCTION LAYOUT AND NOTIFY ENGINEER OF ANY CONFLICTS BETWEEN PLAT AND CONSTRUCTION PLANS.
- FILL MATERIAL SHALL BE PLACED (MAX. 12" LIFTS) AS SHOWN BY THE PROPOSED ELEVATIONS AND TYPICAL SECTIONS AND COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY (AASHTO T-180) AS VERIFIED BY A SOILS ENGINEERING COMPANY RETAINED BY THE OWNER. SUITABILITY OF FILL MATERIAL SHALL BE APPROVED BY A SOILS ENGINEER.
- THE CONTRACTOR SHALL NOTIFY ST. JOHNS RIVER WATER MANAGEMENT DISTRICT IF ANY DOWATERING SHALL BE REQUIRED. IF REQUIRED SURVIMD WILL DETERMINE IF A PERMIT IS NECESSARY.
- CONTRACTOR TO CONFIRM ELEVATIONS OF CONNECTIONS TO EXISTING SANITARY & STORM STRUCTURES & WORKABILITY OF THE SYSTEMS, PRIOR TO CONSTRUCTION AND ORDERING OF NEW STRUCTURES.
- CONTRACTOR RESPONSIBLE FOR SIZING BOXES IF NOT ADEQUATE.
- BERMS CONSTRUCTED OF FILL SHALL BE CERTIFIED BY A GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER SHALL ALSO CERTIFY THAT BERMS CONSTRUCTED OF FILL HAVE BEEN COMPLETED AS DESIGNED.
- SEDIMENT AND EROSION PROTECTION MEASURES SHOWN HEREIN ARE THE MINIMUM REQUIRED. ADDITIONAL MEASURES/CONTROLS SHALL BE UTILIZED AS NEEDED DEPENDENT UPON ACTUAL SITE CONDITIONS AND CONSTRUCTION OPERATIONS.
- AN ILLUMINATION PLAN SHALL BE PROVIDED ALONG WITH THE SITE PLAN FOR EACH INDIVIDUAL LOT.
- A LETTER MUST BE OBTAINED FROM THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION (FWCC) REGARDING WILDLIFE MANAGEMENT PLAN FOR CORNER TORTOISES OR OTHER IDENTIFIED SPECIES PRIOR TO ANY CONSTRUCTION ACTIVITIES OCCURRING ON SITE.
- ALL INTERNAL ROADS SHALL BE PUBLIC STREETS.
- ARCHITECTURAL RENDERINGS SHALL BE PROVIDED WITH FINAL DEVELOPMENT PLANS WITH THE DEVELOPMENT OF EACH INDIVIDUAL LOT. ARCHITECTURAL EXTERIOR OF THE BUILDINGS SHALL MEET THE INTENT OF CITY'S DEVELOPMENT DESIGN GUIDELINES.
- ALL SERVICE EQUIPMENT AND UTILITY BOXES MUST BE FULLY SCREENED.
- ADDITIONAL STANDARDS AND CONDITIONS APPEAR IN A DEVELOPMENT AGREEMENT APPROVED BY THE CITY COUNCIL ON THE DATE WILL BE REQUIRED AFTER APPROVAL OF THE DEVELOPMENT AGREEMENT.
- TREE MITIGATION FEE WILL BE CALCULATED ON A PHASE BY PHASE BASIS. NO CLEARING AND GRADING SHALL OCCUR WITHIN ANY PHASE UNTIL THE TREE MITIGATION FEE CALCULATION HAS BEEN APPROVED BY THE COMMUNITY DEVELOPMENT DEPARTMENT AND PAYMENT TO THE CITY HAS BEEN MADE.
- FINAL DESIGN OF INTERNAL ROADS SHALL OCCUR AT THE FINAL DEVELOPMENT PLAN APPLICATION.
- A TRAFFIC STUDY SHALL BE PREPARED AT THE FINAL DEVELOPMENT PLAN APPLICATION TO ADDRESS THE ENTIRE SUBDIVISION. AN UPDATE OF THE TRAFFIC STUDY SHALL OCCUR WITH THE DEVELOPMENT PLAN SUBMITTAL FOR EACH LOT IF THE TRAFFIC GENERATION IS ESTIMATED TO EXCEED THAT WITHIN THE ORIGINAL PROJECT TRAFFIC STUDY.
- ANY CITY DEVELOPMENT REQUIREMENTS NOT MET AT THE PRELIMINARY DEVELOPMENT PLAN SHALL BE ADDRESSED AT THE FINAL DEVELOPMENT PLAN FOR THE SUBDIVISION OR FOR EACH LOT, AS DETERMINED BY THE COMMUNITY DEVELOPMENT DIRECTOR.

Tract Information		
Tract	Use	Ownership & Maintenance
A	Stormwater Management	Property Owners Association
B	Lift Station	City of Apopka
C	Stormwater Management	Property Owners Association
D	Stormwater Management	Property Owners Association
E	Stormwater Management	Property Owners Association
F	Future Railroad Right-of-Way	Property Owners Association
G	Future Railroad Right-of-Way	Property Owners Association
H	Wall / Landscape	Property Owners Association

DATE	REVISION
11/2/15	CITY COMMENTS
5/2/16	CITY COMMENTS

Standard Details

Wekiva Parkway Industrial Park



june engineering  
consultants, inc.

32 W. Plant Street  
Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232

Certificate of Authorization #00031567

DRAWN BY: CLK  
DATE: 6/16/15

CHECKED BY: RAJ  
DATE: 6/16/15

SCALE  
1" = 200'

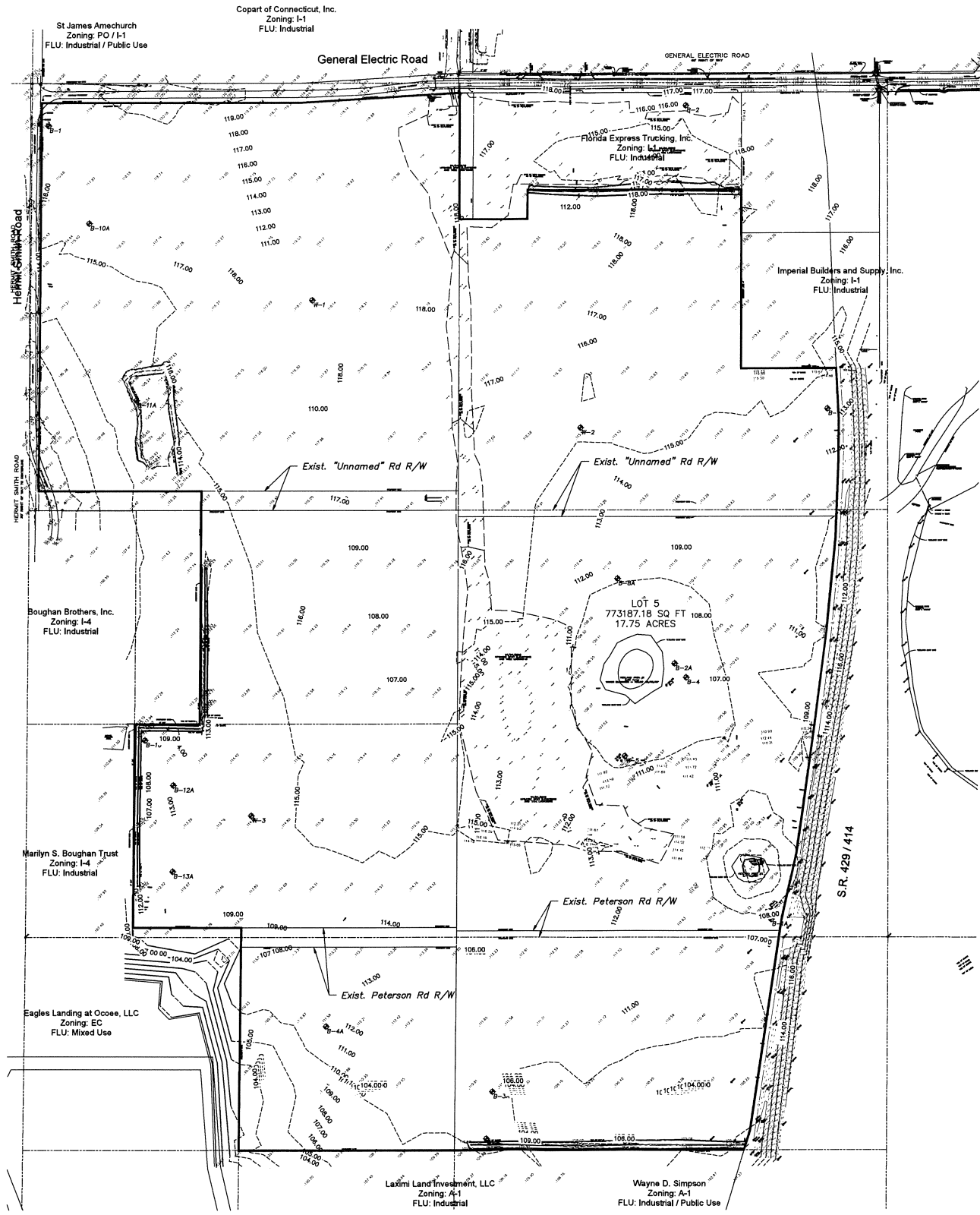
JEFFREY A. SEDLOFF  
PE# 51506

JOB NO.  
14-0458

SHEET  
2

OF 10

Nancy Mann Trust  
Zoning: R1-AA  
FLU: Very Low Suburban



Site Data Table	
Parcel ID Number	01-21-27-0000-00-060; 06-21-28-7172-12-060; 01-21-27-0000-00-030; 06-21-28-7172-13-000; 12-21-27-0000-00-010; 12-21-27-0000-00-018
Future Land Use	Industrial
Zoning	I-1
Adjacent Land Use	North: Industrial East: Mixed Use/PR South: Ag West: Industrial/Mixed Use/Commercial
Adjacent Zoning	North: I-1 East: I-1 South: A-1 West: I-4, Mixed EC, R-1AA
Acreage/Square Footage	Acres: 140.47 S.F. 6,118,873
Building Height	Proposed: 35' Max. 35'
Density	Proposed: units/Ac. Max.
Building Setbacks	Proposed Front: 25' Side: 10' Rear: 10' Corner: 25' Required Front: 25' Side: 10' Rear: 10' Corner: 25'
Open Space	Proposed: Required:
Tree Bank Mitigation Fee	
Waiver Request	No
Variance Request	No

LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Proposed Pavement	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Plan & Profile Sheet #	
Soil Type	
Conservation Line	
100 Year Flood	

DATE	REVISION
11/2/15	City Comments
3/2/16	City Comments

Existing Conditions

Wekiva Parkway Industrial Park

june engineering  
consultants, inc.

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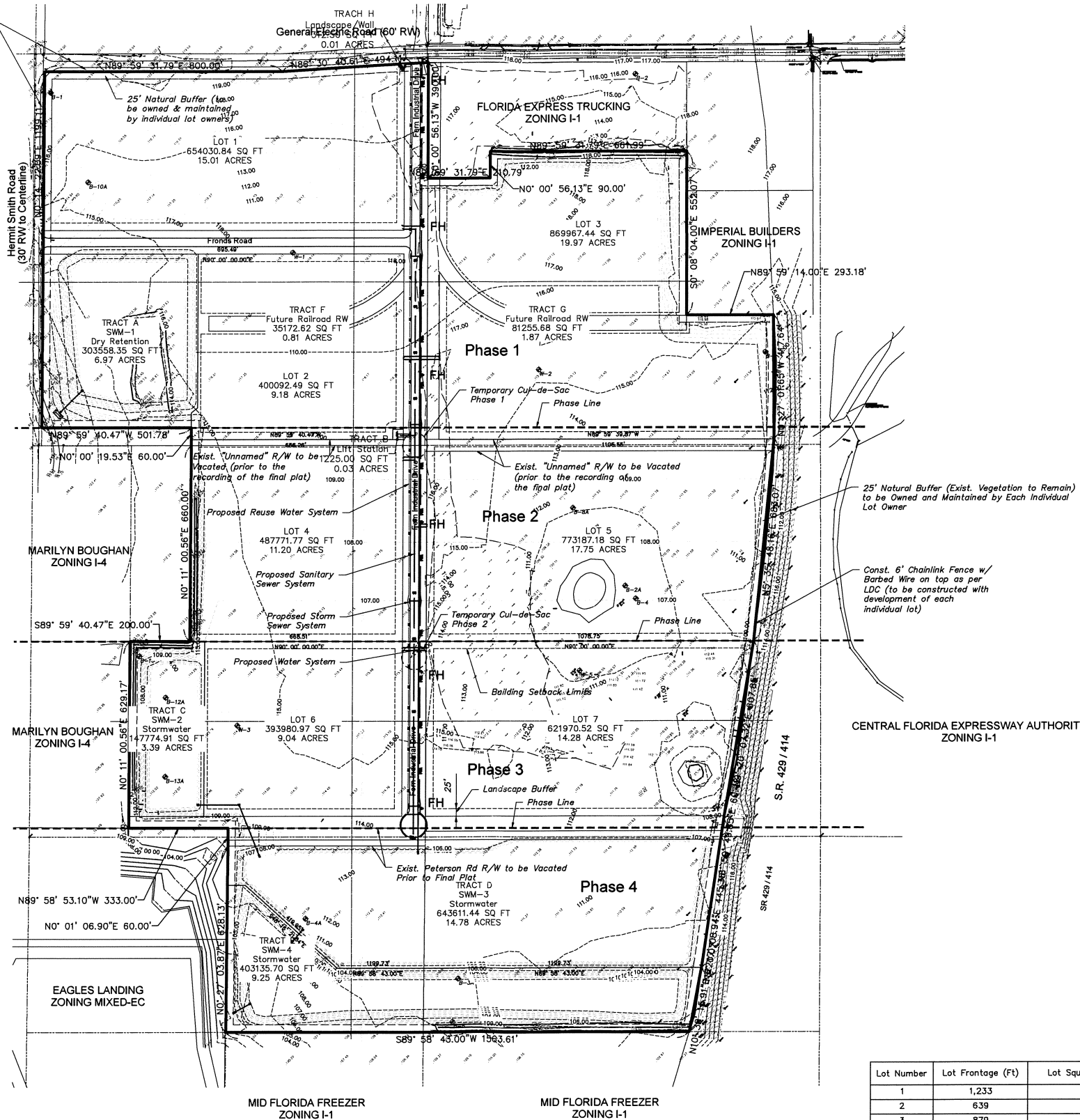
JEFFREY A. SEDLOFF  
PE# 51506



FKA AERATED CONCRETE SYSTEMS  
ZONING I-1

Const. 5' Concrete Sidewalk (along  
General Electric Road and Hermit  
Smith Road property frontages as  
part of Phase 1 Infrastructure)

NANCY MANN TRUST  
ZONING R-1AA



CENTRAL FLORIDA EXPRESSWAY AUTHORITY  
ZONING I-1

EAGLES LANDING  
ZONING MIXED-EC

MID FLORIDA FREEZER  
ZONING I-1

MID FLORIDA FREEZER  
ZONING I-1

Lot Number	Lot Frontage (Ft)	Lot Square Footage (Ac.)	Max. Building (SF) 60% Max.
1	1,233	15.70	410,335
2	639	9.76	255,087
3	879	19.70	514,879
4	679	11.64	304,223
5	679	17.51	457,641
6	629	10.14	265,019
7	599	14.31	374,006

LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Proposed Pavement	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Plan & Profile Sheet #	
Soil Type	
Conservation Line	
100 Year Flood	

DATE	REVISION
11/2/15	City Comments
3/2/16	City Comments
5/2/16	City Comments

Overall Preliminary  
Development Plan  
Wekiva Parkway Industrial Park



june engineering  
consultants, inc.

32 W. Plant Street  
Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232

Certificate of Authorization #00031567

DRAWN BY: CLK

CHECKED BY: RAJ

SCALE

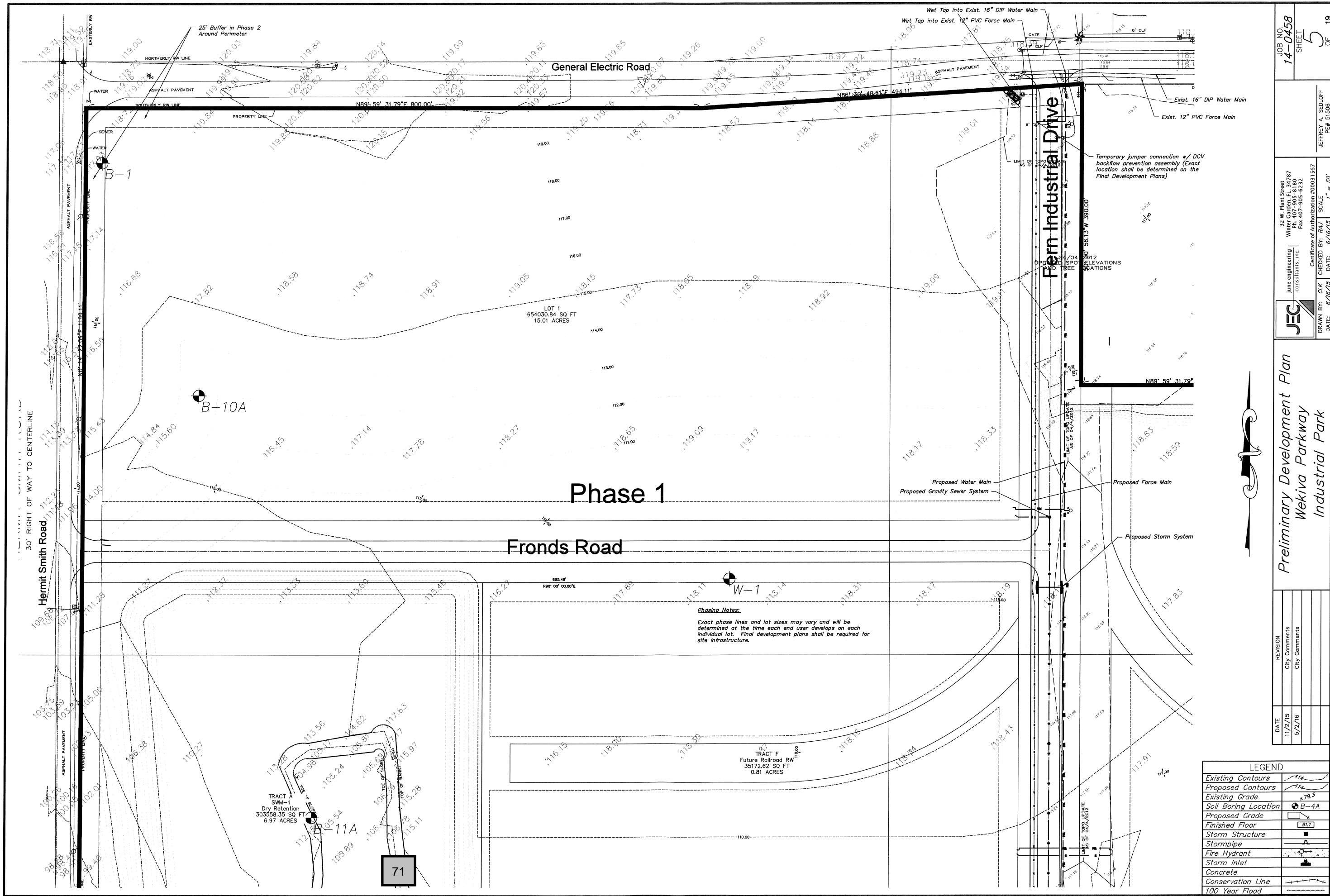
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DATE: 6/16/15

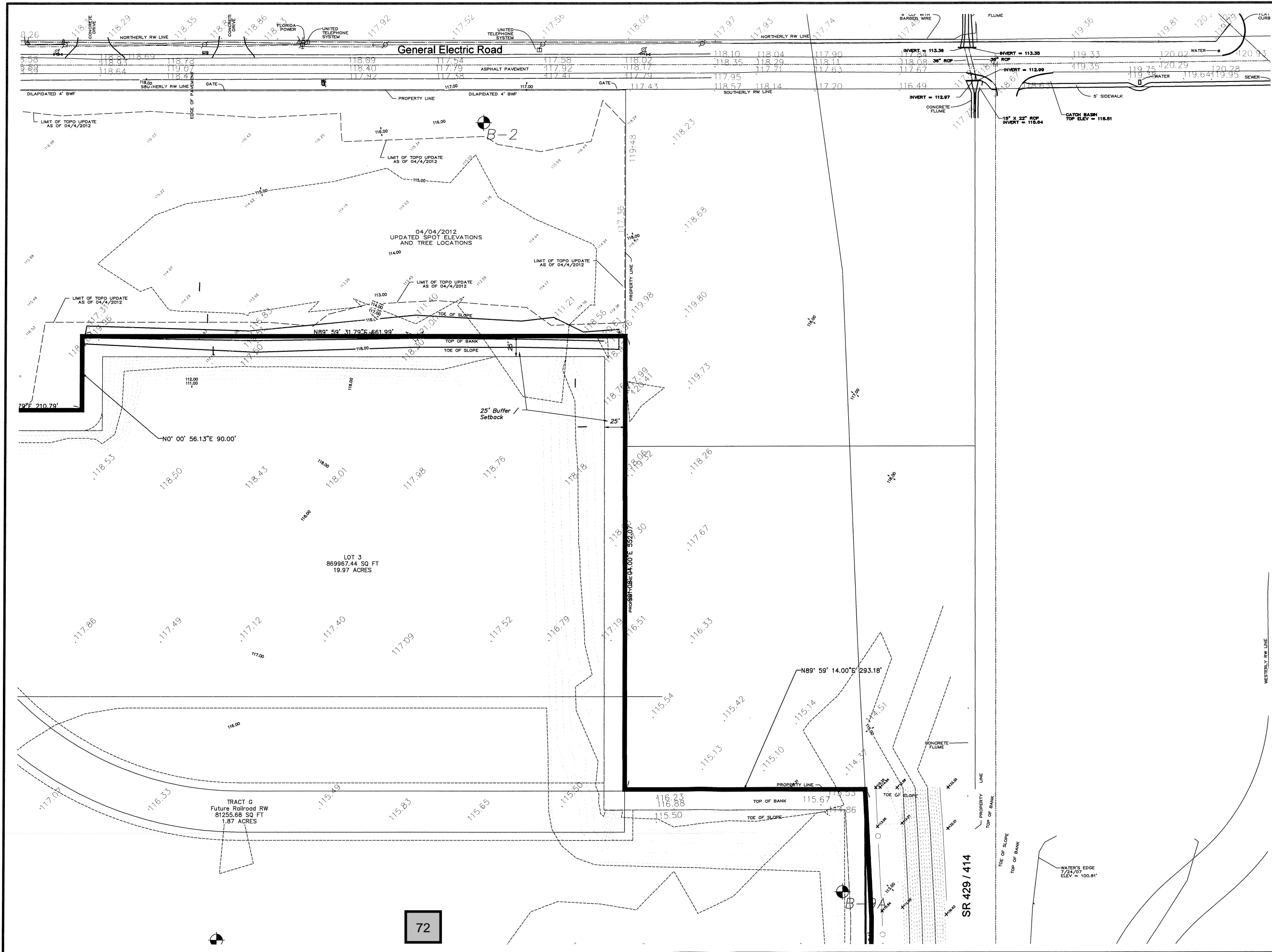
1" = 200'

JEFFREY A. SEDLOFF  
PE# 51506

JOB NO.  
14-0458  
SHEET  
4  
OF 19







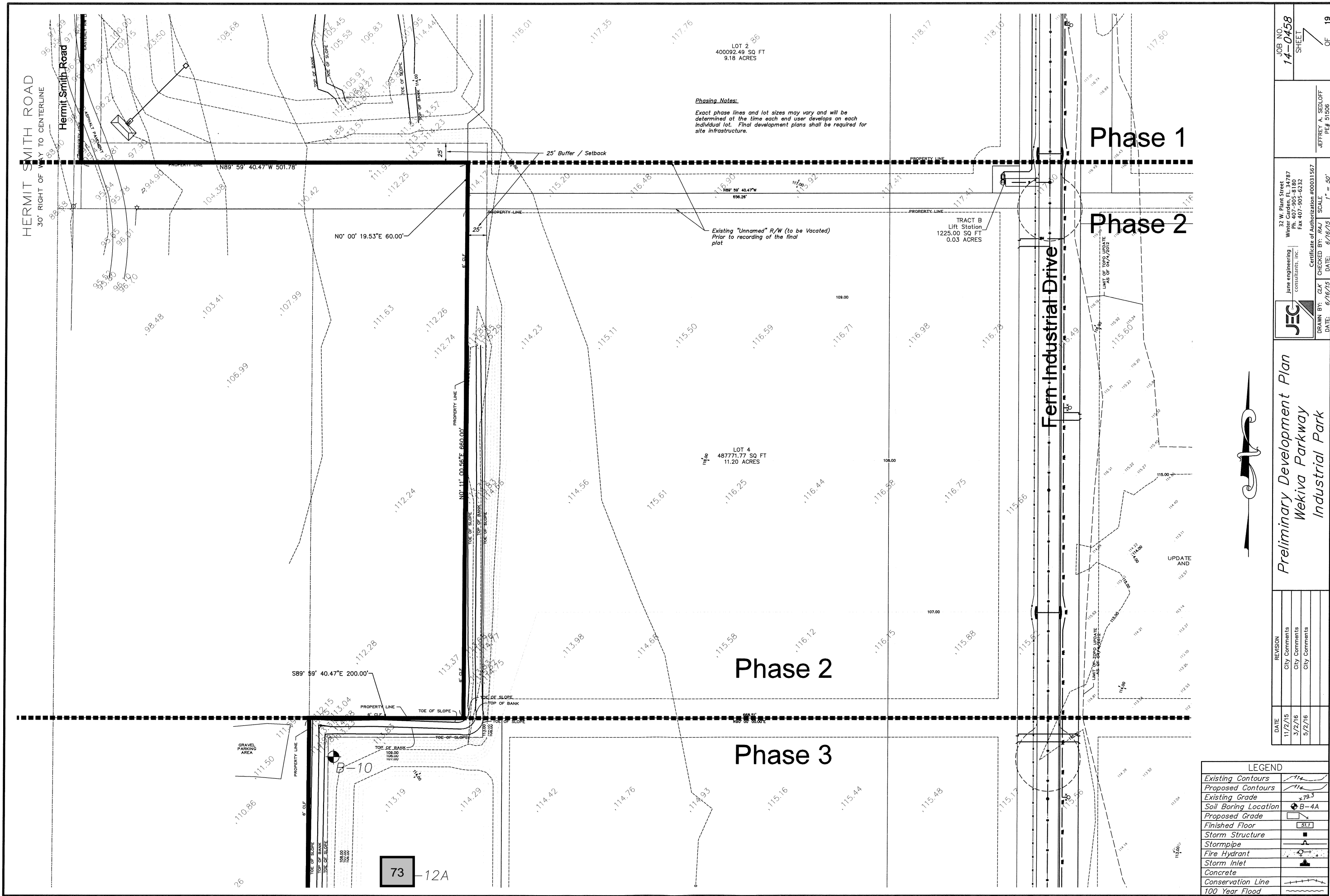
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Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Conservation Line	
100 Year Flood	

Preliminary Development Plan  
Wekiva Parkway  
Industrial Park

DATE	REVISION
11/2/15	City Comments

JEG  
June engineering  
consultants, inc.  
32 W. Plant Street  
Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232  
Certificate of Authorization #00031567  
DRAWN BY: CJK CHECKED BY: PJA SCALE: 1" = 50'  
DATE: 6/16/15

JOB NO. 14-0458  
SHEET 6 OF 19  
JEFFREY A. SEDLOFF  
PE# 51506



**Phasing Notes:**  
Exact phase lines and lot sizes may vary and will be determined at the time each end user develops on each individual lot. Final development plans shall be required for site infrastructure.

Existing "Unnamed" R/W (to be Vacated)  
Prior to recording of the final plat

TRACT B  
Lift Station  
1225.00 SQ FT  
0.03 ACRES

LOT 4  
487771.77 SQ FT  
11.20 ACRES

Phase 2

Phase 3

Phase 1

Phase 2

LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Conservation Line	
100 Year Flood	

DATE

11/2/15

REVISION

City Comments

DATE

3/2/16

REVISION

City Comments

DATE

5/2/16

REVISION

City Comments

JOB NO.

14-0458

SHEET

7

OF

19

JECH

June engineering consultants, inc.

32 W. Plant Street  
Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232

CHECKED BY: CJK

CHECKED BY: JAL

DATE: 6/16/15

DATE: 6/16/15

SCALE

1" = 50'

Certificate of Authorization #00031567

JEFFREY A. SEDOFF

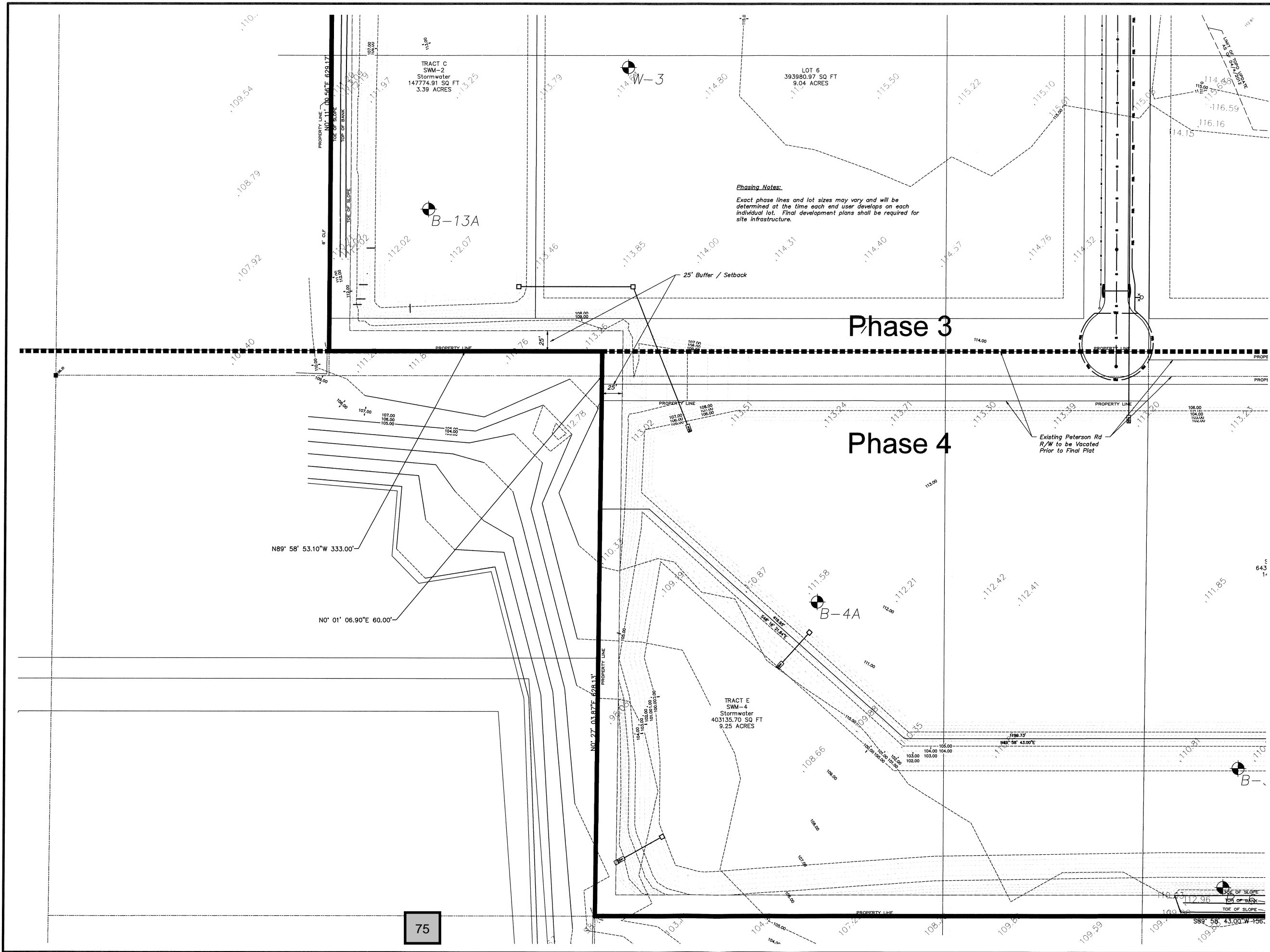
PEL 51506

Preliminary Development Plan

Wekiva Parkway

Industrial Park





Phasing Notes:  
Exact phase lines and lot sizes may vary and will be determined at the time each end user develops on each individual lot. Final development plans shall be required for site infrastructure.

Phase 3

Phase 4

Existing Peterson Rd  
R/W to be Vacated  
Prior to Final Plat

75

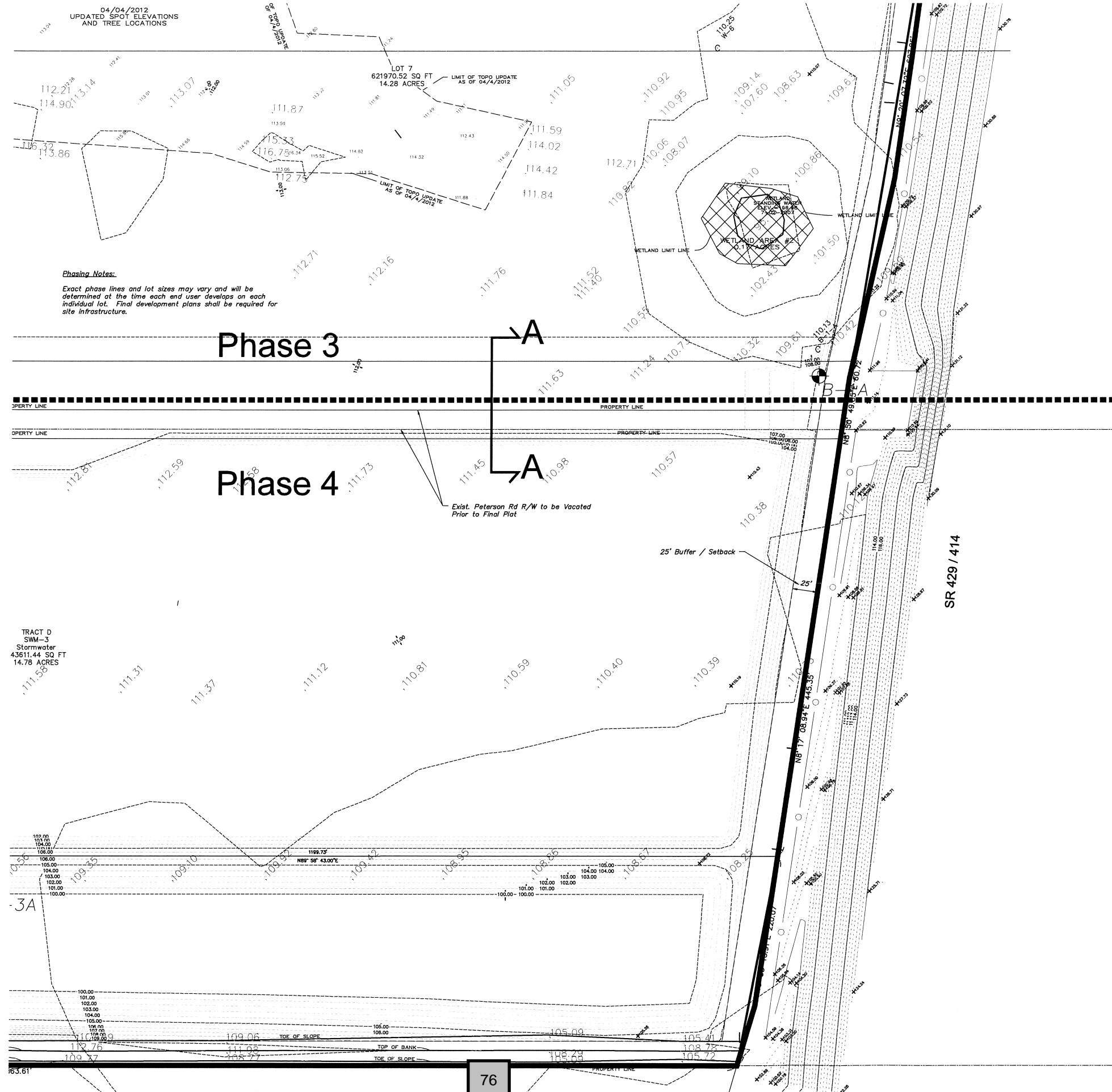
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Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
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Finished Floor	
Storm Structure	
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100 Year Flood	

Preliminary Development Plan  
Wekiva Parkway  
Industrial Park

DATE	REVISION
11/2/15	City Comments
3/2/16	City Comments
5/2/16	City Comments

**JEG**  
June engineering  
CONSULTANTS, INC.  
32 W. Plant Street  
Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232  
Certificate of Authorization #00031567  
DRAWN BY: CLK CHECKED BY: RAL SCALE: 1" = 50'  
DATE: 02/02/16

JOB NO.  
**14-0458**  
SHEET  
**9**  
OF  
**19**  
JEFFREY A. SEDOFF  
PEP 51508

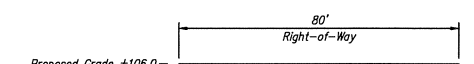


**Phasing Notes:**  
Exact phase lines and lot sizes may vary and will be determined at the time each end user develops on each individual lot. Final development plans shall be required for site infrastructure.

Phase 3

Phase 4

TRACT D  
SWM-3  
Stormwater  
43611.44 SQ FT  
14.78 ACRES



SHGWT (± El. 98.0)

**TYPICAL SECTION A**  
N.T.S.

LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Conservation Line	
100 Year Flood	

JEC

June engineering consultants, inc.

32 W. Plant Street  
Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232

REVISION

DATE	11/2/15	City Comments
	3/2/16	City Comments
	5/2/16	City Comments

DATE

11/2/15

JOB NO.

14-0458

SHEET

10

OF

19

Jeffrey A. Sedoff

PE# 51506

Certificate of Authorization #00031567

SCALE 1" = 50'

DRAWN BY: GJK

CHECKED BY: BAJ

DATE: 6/16/15

Preliminary Development Plan

Wekiva Parkway

Industrial Park

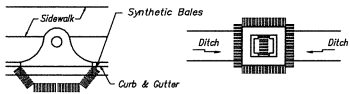
Drawn by: GJK

Checked by: BAJ

Date: 6/16/15



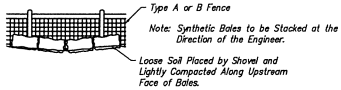
Partial Inlet



Completed Inlet

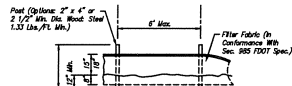
Ditch Bottom Inlet

Protection Around Inlets or Similar Structures

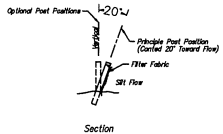


Synthetic Bales Backed by Fence

(Per F.D.O.T. Index No. 102)  
**EROSION PROTECTION DETAILS**  
N.T.S.



Elevation



Section

Note: Silt Fence to be Piled for Under the Control Unit Price for Staked Silt Fence (U7).  
Reinforced Silt Fence shall be Provided Adjacent to all Wetlands/Buffered Buffers or as Noted. Reinforcement shall include Wire Backing to Silt Fence.

**TYPE III SILT FENCE**  
N.T.S.

Project Name: Mid-Florida Freeway  
FDEP Project ID # FLR 77

Site Location:  
S01 7215 ROUTE 512 7215 ROUTE 506 7215 ROUTE  
Latitude 28°41'20"N Longitude 81°33'47"W

Site Area: The total site is approximately 140.47 acres of which 136.89 will be disturbed by construction activities.

Owner Name:  
Mid-Florida Freeway  
c/o Jura Engineering Consultants  
P.O. Box 770093  
Winter Garden, FL 34777

Contractor Name:

Project Description: Construct infrastructure associated with an industrial/commercial subdivision. Clearing and grubbing, installing a stabilized construction entrance, perimeter and other erosion and sediment controls, grading, construction for the stormwater ponds, storm sewer, culverts and building foundations, construction of roads, curbs, sidewalks, preparation for final paving and seeding.

Construction Sequence:  
1. Install stabilized construction entrance.  
2. Clear and Grub for silt fence installation.  
3. Install Silt Fence.  
4. Construct Retention Ponds Mass Site Grading.  
5. Install Infrastructure (Storm Sewer, Utilities, Roads, etc.)  
6. Complete final grading and install permanent seeding and plantings.  
7. Remove any accumulated sediment from basin.  
8. When construction activity is complete and the site is stabilized, remove silt fence and reseed/reseed any areas disturbed by their removal.

Soil Type: Site is primarily underlain with USDA-SCS Type 1A Soils (St. Lucie, Tavares, Pomello, Zolla, and Tavares-Milbreyer Fine Sands).

Runoff Coefficient: The final runoff coefficient for the site will be C=0.20.

Disturbing Methods: Point well

Receiving Water

Body: Lake Apopka

**CONTROLS (BMPs)**

**Erosion and Sediment Controls**

**Stabilization Practices**

Temporary Stabilization - Top stock piles and disturbed portions of the site where construction activity temporarily ceases for at least 7 days will be stabilized with temporary seed and mulch.

Permanent Stabilization - Disturbed portions of the site where construction activities permanently ceases shall be stabilized with permanent seed and mulch and/or sod no later than 30 days after the last construction activity.

**Structural Practices**

Silt Fencing - 100% be constructed around the perimeter of the site as indicated on the overall plans of the construction plans.

**Retention Ponds**

Sediment Basins - Will be constructed with the site grading. Once construction activities are nearly complete, the accumulated sediment will be removed from the basin.

**Other Controls**

Waste Disposal - All waste materials will be collected and stored in a dumpster or as required by the City of Apopka. All trash and debris from the site will be stored in the dumpster.

Hazardous Waste - All hazardous waste materials will be disposed of in the manner specified by local or state regulation or by the manufacturer.

Sanitary Waste - All sanitary waste will be collected from the portable units as per the requirement of Orange County and FDEP.

**Off-site Vehicle Tracking**

A stabilized construction entrance has been provided to help reduce vehicle tracking of sediments. The paved steel leading to the site entrance will be swept as necessary to remove any excess mud, dirt or rock tracked from the site. Dump most hauling material from the construction site will be covered with a tarpaulin.

**TIMING OF CONTROLS/MEASURES**

As indicated in the Sequence of Major Activities, the silt fence, stabilized construction entrance will be constructed prior to clearing or grading of any other portions of the site. Areas where construction activity temporarily ceases for more than 7 days will be stabilized with a temporary seed and mulch. Once construction activity ceases permanently in an area, that area will be stabilized with permanent seed and mulch and/or sod. After the entire site is stabilized, the accumulated sediment will be removed from the retention ponds and along the silt fence.

**CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS**

The storm water pollution prevention plan reflects the Orange County, St. Johns River Water Management District, Florida Department of Environmental Protection and the U.S. Environmental Protection Agency requirements for storm water management and erosion and sediment control.

**MAINTENANCE/INSPECTION PROCEDURES**

These are the inspection and maintenance practices that will be used to maintain erosion and sediment controls.

All control measures will be inspected at least once each week and following any storm event of 0.5 inches or greater. A rain gauge will be on site to measure rainfall amounts.

All measures will be maintained in good working order; if repair is necessary, it will be initiated within 24 hours of the report.

Build up sediment will be removed from silt fence when it has reached one-third the height of the fence.

Silt fence will be inspected for depth of sediment, tears, to see if the fabric is securely attached to the fence posts, and to see that the fence posts are firmly in the ground.

The retention ponds/sediment basins will be inspected, and sediment will be removed at the end of the job.

Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth.

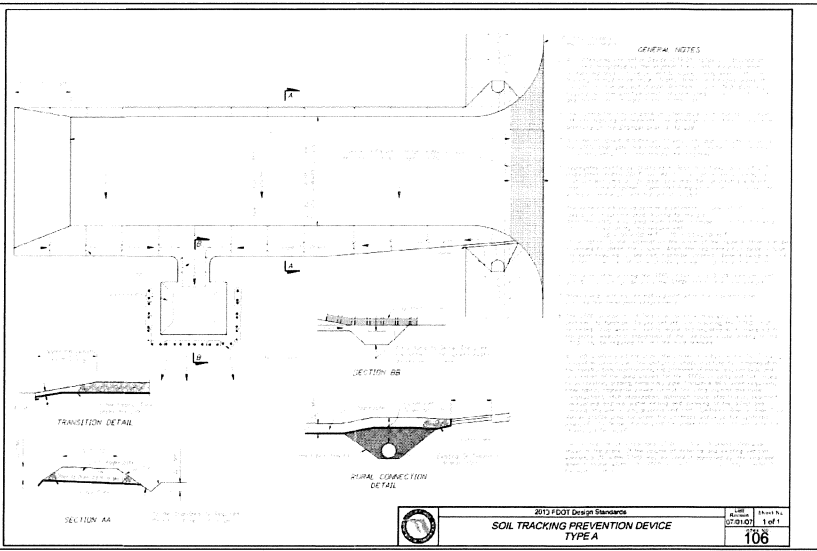
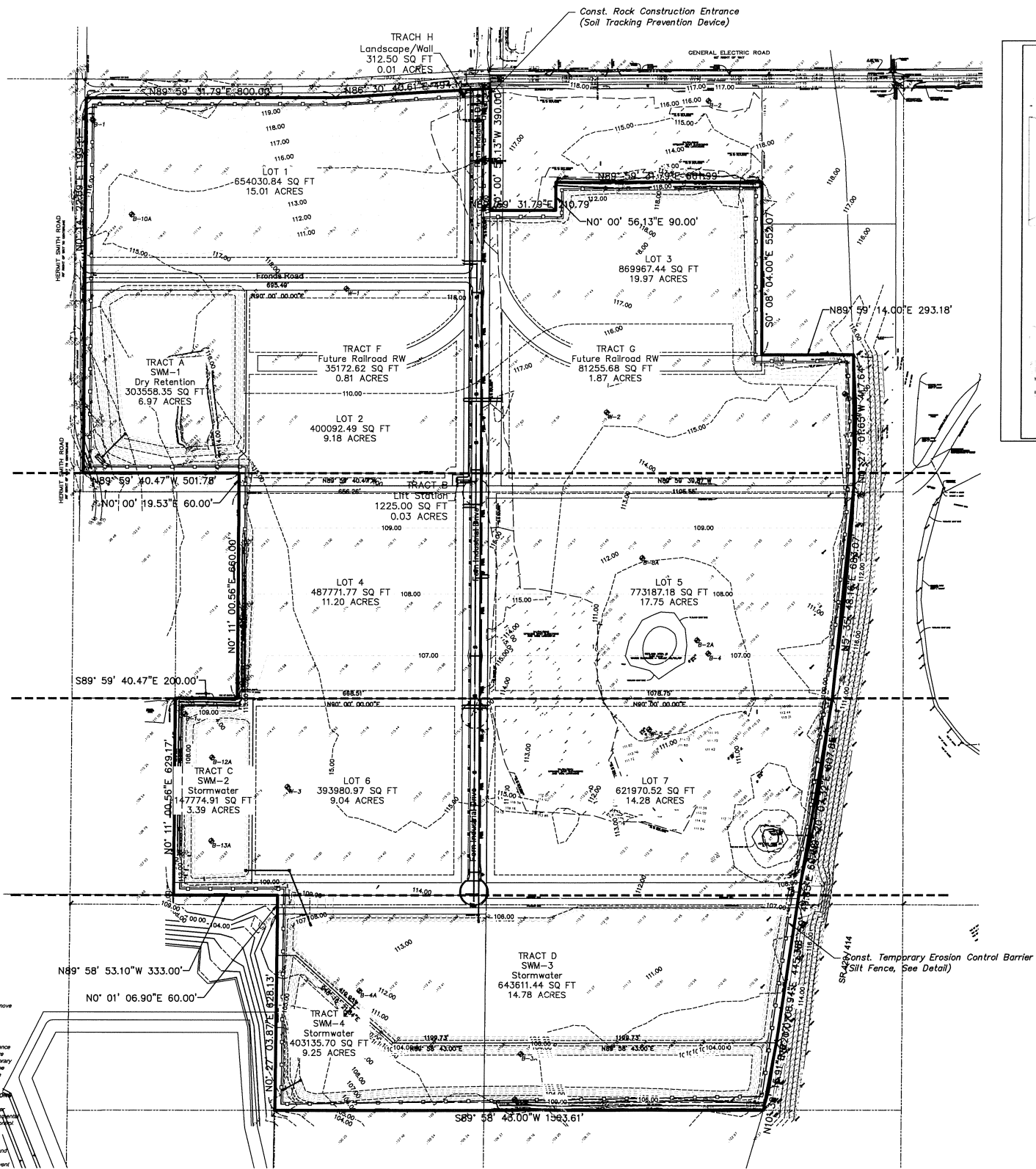
It is expected that the following non-stormwater discharges will occur from the site during construction:

Water from flying of the water lines.  
Water from the washing of the pavement (where no spills or leaks of toxic or hazardous materials have occurred).

Uncontaminated groundwater (from dewatering excavation).  
All non-storm water discharges will be directed to the sediment basins prior to discharge.

**INVENTORY FOR POLLUTION PREVENTION PLAN**  
The materials or substances listed below are expected to be present onsite during construction:

Concrete  
Asphalt  
Wood  
Masonry Block  
Roofing Shingles  
Petroleum Based Products  
Fertilizers  
Cleaning Solvents  
Paints (Enamel and Latex)  
Metal Sheds  
Debris  
CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL IF IT BECOMES NECESSARY TO MEET STATE AND LOCAL STANDARDS



**EROSION CONTROL NOTES**

- All areas disturbed and not touched in thirty days shall be seeded and mulched.
- Contractor to provide control of airborne dust during construction as required.
- All inlets shall be protected by synthetic bales or meet the requirements as per FDOT Index No. 102.
- The erosion control measures shown herein are the minimum required. Additional controls to be utilized as needed.

DATE	REVISION
10/13/14	City Comments
1/29/15	City Comments
11/2/15	City Comments
5/2/16	City Comments

Stormwater Pollution  
Prevention Plan  
Wekiva Parkway Industrial Park



june engineering  
consultants, inc.

32 W. Plant Street  
Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232

Certificate of Authorization #00031567

DRAWN BY: CLK  
DATE: 6/16/15

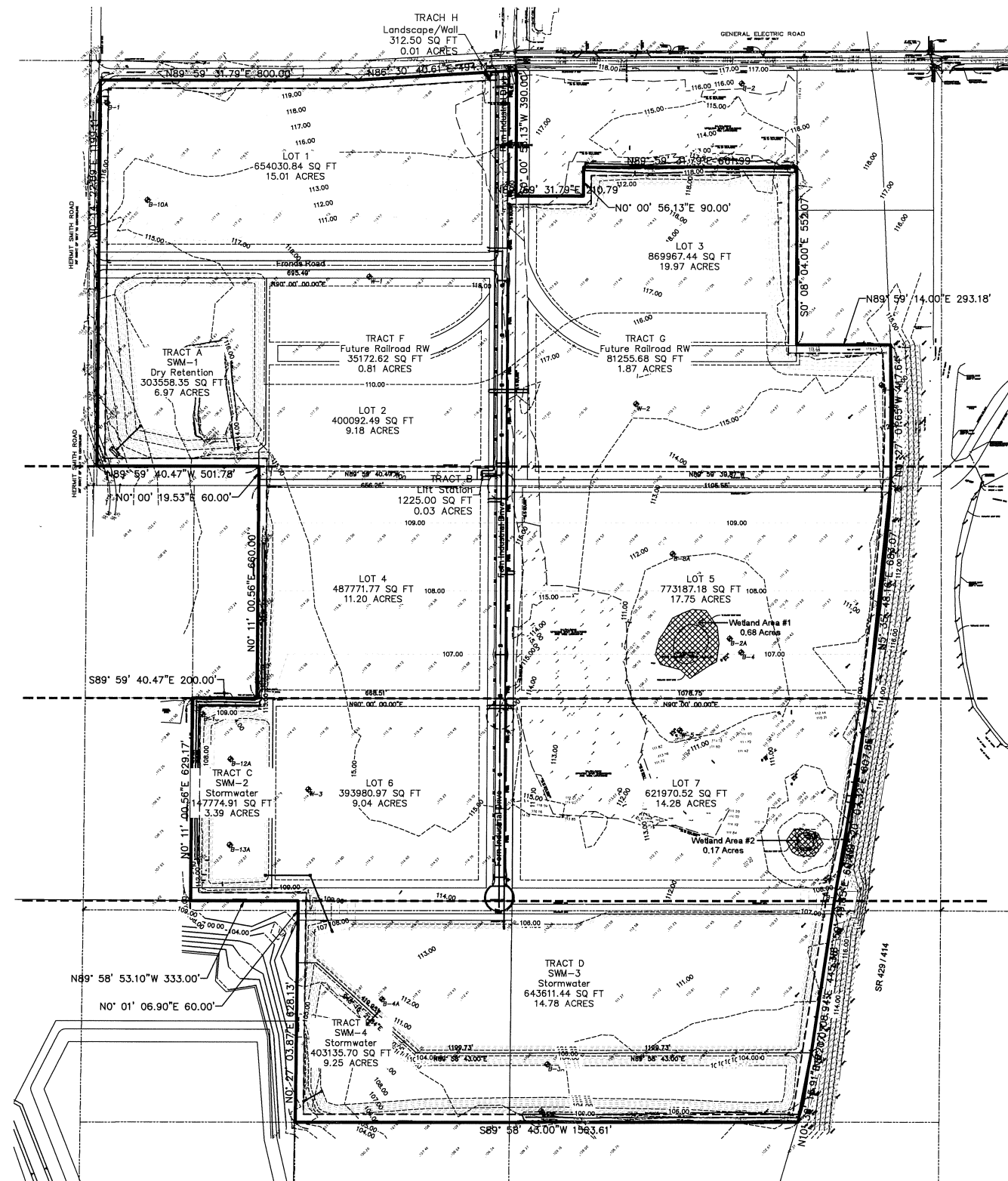
CHECKED BY: RAU  
DATE: 6/16/15

SCALE  
1" = 200'

JEFFREY A. SEDLOFF  
PE# 51506

JOB NO.  
14-0458  
SHEET  
11  
OF 19





Wetland Impact

0.85 Ac.

Wetland #1  
Wetland #2

0.68 Ac.  
0.17 Ac.

DATE	REVISION
11/2/15	City Comments
5/2/16	City Comments

Wetland Inventory Plan  
Wekiva Parkway Industrial Park



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consultants, inc.

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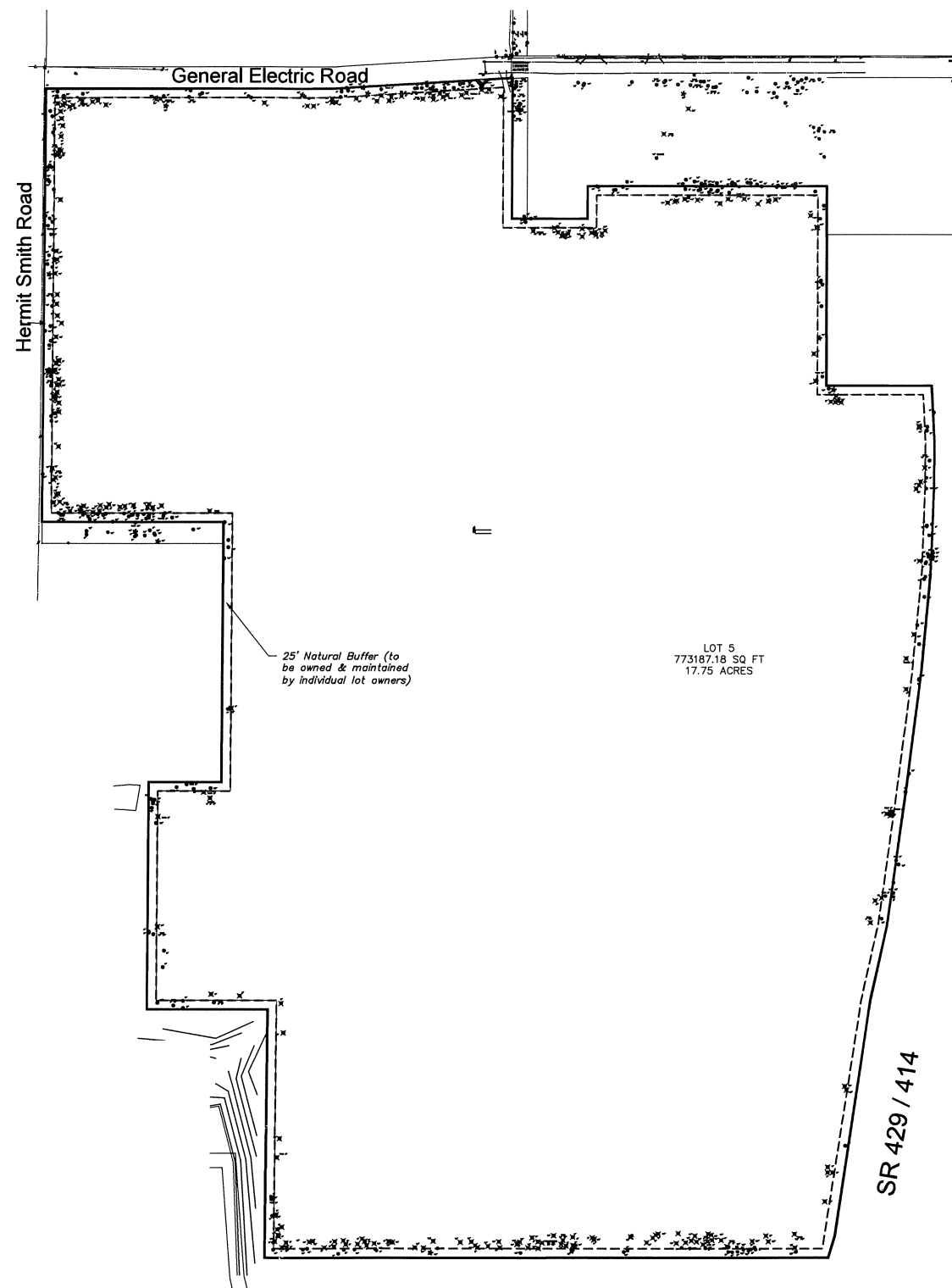
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CHECKED BY: RAJ  
DATE: 6/16/15

SCALE  
1" = 200'

JEFFREY A. SEDLOFF  
PE# 51506

JOB NO.  
14-0458  
SHEET  
12  
OF 19

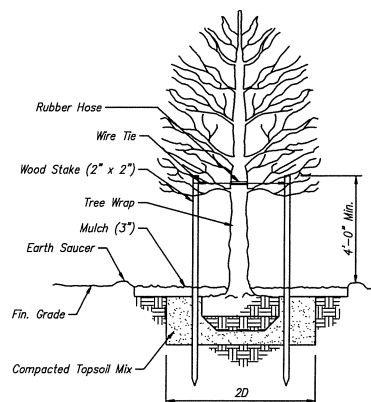


A Landscape and Irrigation Plan will  
be Provided by each Individual  
Lot User upon Final Plan Submittal

**Legend**

To be Removed

Existing Tree



**TREE PLANTING DETAIL**  
N.T.S.

Total Tree Inches on-site (pre-development)	2,987
Total Tree Inches Removed	1,164
Total Retained Tree Inches (non-specimen)	1,699
Total Retained Tree Inches (specimen, 24" DBH or Greater)	124
Total Tree Inches Replaced	0
Total Tree Inches on-site (post-development)	1,823
Total Number of Specimen (24" DBH or Greater) Trees being Removed	0
Total Specimen Inches	0
Site Clearing Area 5,941 (136.885 Ac.)	79

**Arbor Notes:**

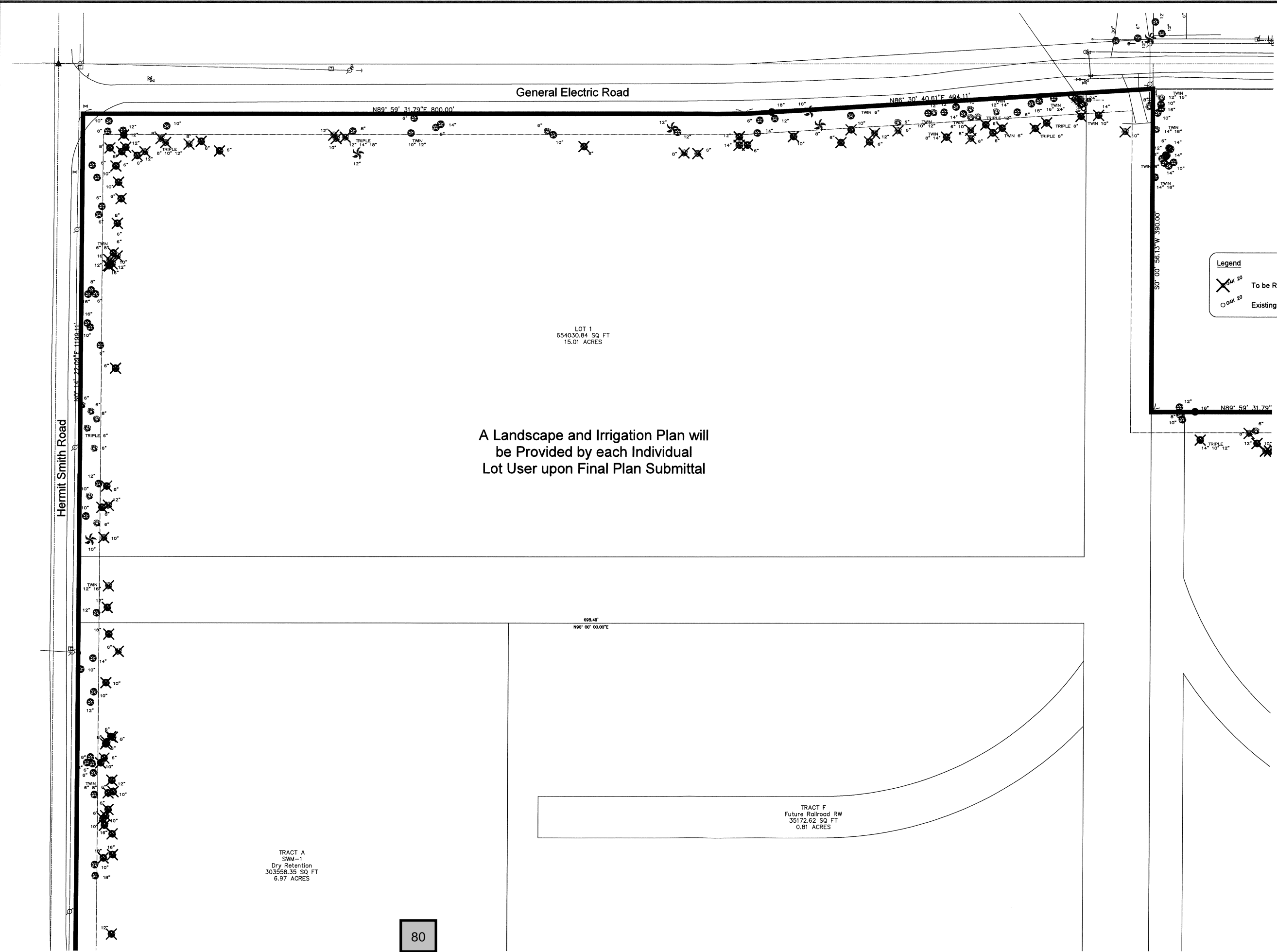
- Developer to plant Palm trees around perimeter of project to provide vegetative buffer on north and west property line and by end a total of 144" of trees spaced at 25' to be planted on site and approved by City staff.
- Landscape plans shall be in compliance with "Water Wise Ordinance 2069".

KEY	BOTANICAL NAME	COMMON NAME	SIZE
QV	Quercus Virginiana	Live Oak	10'-12' Ht. 8'-10' Spd., 65 gal. 3" DBH 6' Cir. Trk.
SP	S. Babylonica	Sable Palm	10'-12' Ht. Clear Trunk 3" Caliper DBH

DATE	REVISION
11/2/15	City Comments

*Overall Tree Plan*  
*Wekiva Parkway Industrial Park*

	june engineering consultants, inc.	32 W. Plant Street Winter Garden, FL 34787 Ph. 407-905-8180 Fax 407-905-6232	JOB NO. <b>14-0458</b>
	Certificate of Authorization #00031567		
DRAWN BY: CLK DATE: 6/16/15	CHECKED BY: RAJ DATE: 6/16/15	SCALE 1" = 100'	JEFFREY A. SEDLOFF PE# 51506 OF 19



**Legend**

**OAK 20** To be Removed

**OAK 20** Existing Tree

LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	B-4A
Proposed Grade	
Finished Floor	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Conservation Line	
100 Year Flood	

REVISION	
DATE	
11/2/15	City Comments
5/2/16	City Comments

*Tree Plan*  
*Wekiva Parkway*  
*Industrial Park*

**JEG**  
June engineering  
consultants, inc.

32 W. Plant Street  
Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232

Certificate of Authorization #00031567

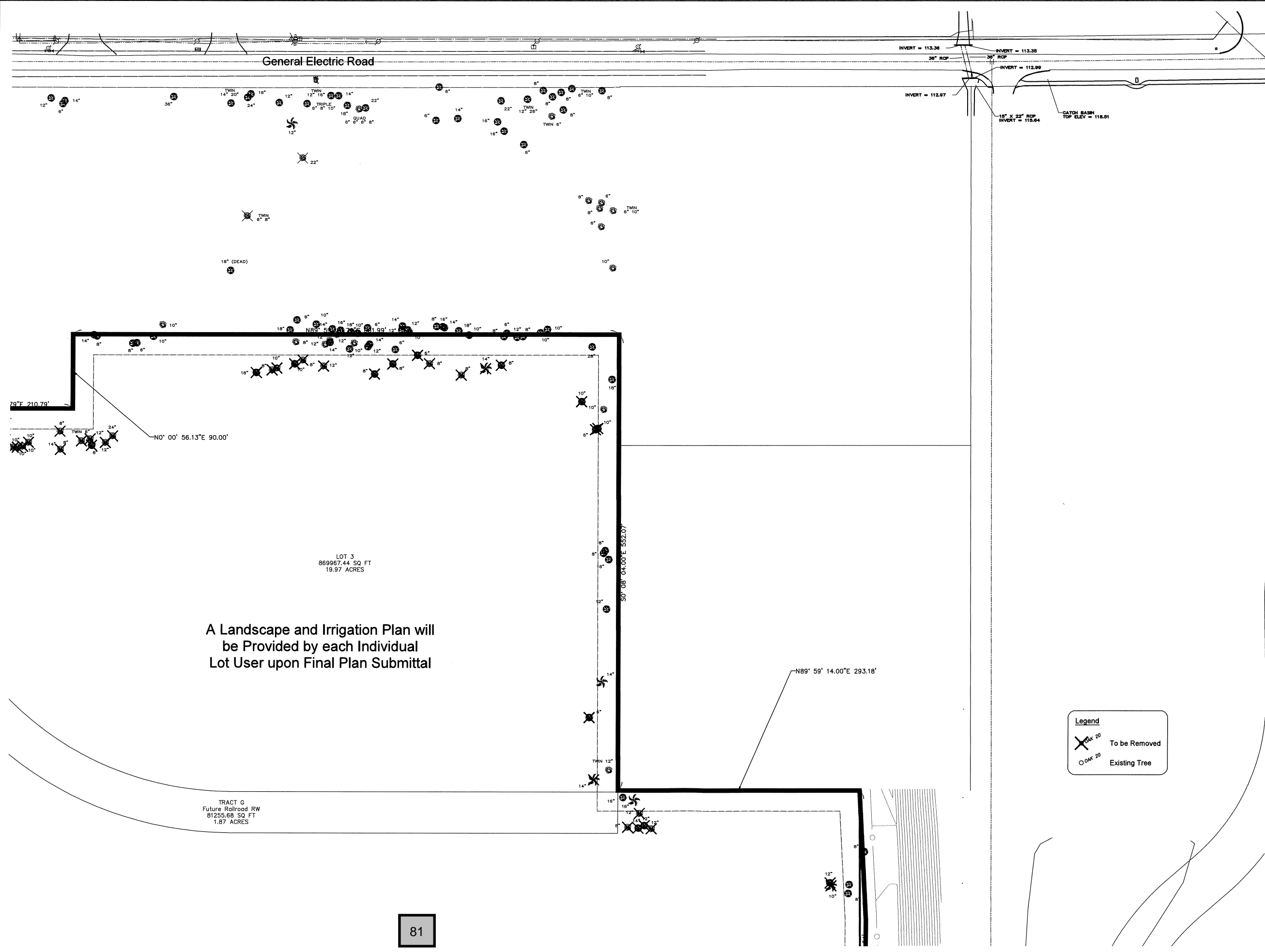
DRAWN BY: CLK | CHECKED BY: PAJ | SCALE: 1" = 50'  
DATE: 6/16/15

JEFFREY A. SEDLOFF  
PE# 51506

JOB NO.  
**14-0458**

SHEET  
**14**

OF  
**19**



A Landscape and Irrigation Plan will  
be Provided by each Individual  
Lot User upon Final Plan Submittal

LOT 3  
869967.44 SQ. FT  
19.97 ACRES

TRACT G  
Future Railroad RW  
81255.68 SQ. FT  
1.87 ACRES

Legend

To be Removed

Existing Tree

LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Conservation Line	
100 Year Flood	

JEG

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consultants, inc.

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Winter Garden, FL 34787  
Ph. 407-905-8180  
Fax 407-905-6232

Drawn BY: CLK

Checked BY: BKL

Date: 6/16/15

Certificate of Authorization #00031567

Scale: 1" = 50'

Date: 6/16/15

Tree Plan  
Wekiva Parkway  
Industrial Park

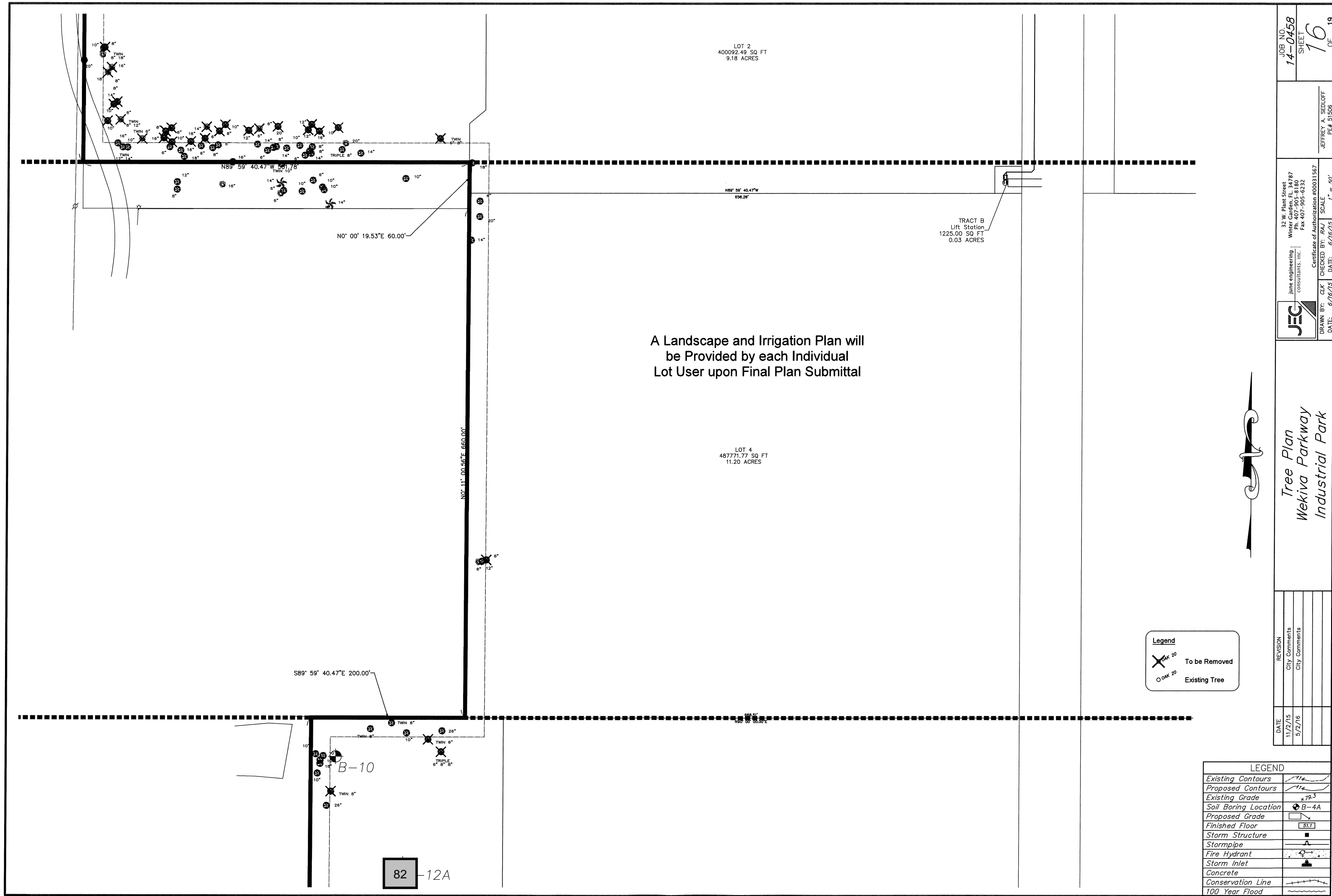
DATE	REVISION	CITY COMMENTS
11/2/15		

JOB NO.  
14-0458

SHEET  
15

OF  
19

JEFFREY A. SEDLOFF  
PE# 51506



JOB NO.  
14-0458  
SHEET  
16  
OF  
19

JEFFREY A. SEDLOFF  
PE# 51506

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Winter Garden, FL 34787  
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June engineering  
consultants, inc.

Certificate of Authorization #00031567

DRAWN BY: CLK  
DATE: 6/16/15

CHECKED BY: P4J  
DATE: 6/16/15

SCALE: 1" = 50'

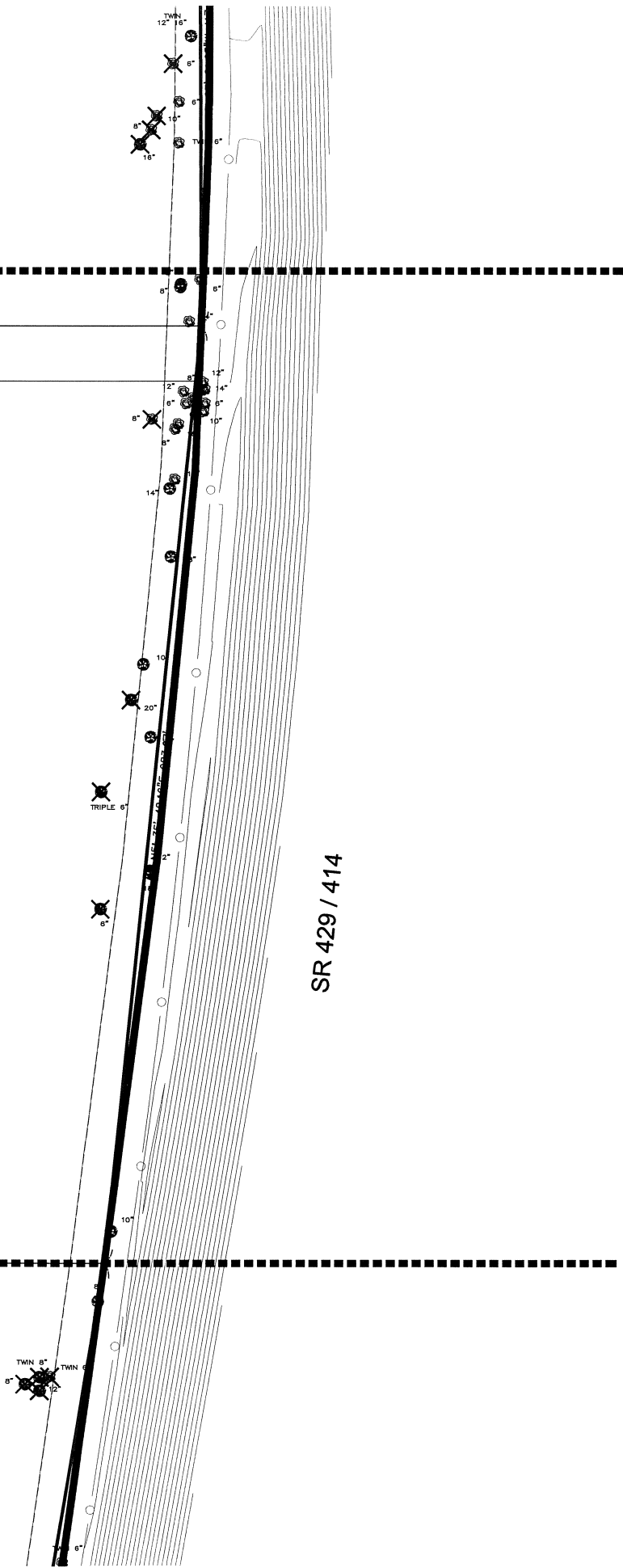
Tree Plan  
Wekiva Parkway  
Industrial Park

DATE	REVISION
11/2/15	City Comments
5/2/16	City Comments

LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	B-4A
Proposed Grade	
Finished Floor	51.1
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Conservation Line	
100 Year Flood	

A Landscape and Irrigation Plan will  
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LOT 5  
773187.18 SQ. FT  
17.75 ACRES



**Legend**

To be Removed

Existing Tree

LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Conservation Line	
100 Year Flood	

JEG June engineering consultants, inc. 32 W. Plant Street Winter Garden, FL 34787 Ph. 407-905-8180 Fax 407-905-6232 Certificate of Authorization #00031567	DRAWN BY: CAX CHECKED BY: PAJ DATE: 6/16/15	DATE: 6/16/15	SCALE: 1" = 50'	JEFFREY A. SEDLOFF PE# 51506	JOB NO. 14-0458 SHEET 17 OF 19
Tree Plan Wekiva Parkway Industrial Park					



A Landscape and Irrigation Plan will  
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Lot User upon Final Plan Submittal


Hermit Smith Road


TRACT C  
SWM-2  
Stormwater  
147774.91 SQ. FT  
3.39 ACRES













LOT 6  
393980.97 SQ. FT  
9.04 ACRES

TRACT E  
SWM-4  
Stormwater  
403135.70 SQ. FT  
9.25 ACRES

**Legend**

 **To be Removed**

 **Existing Tree**

LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Conservation Line	
100 Year Flood	

Tree Plan  
Wekiva Parkway  
Industrial Park

DATE	REVISION
11/2/15	City Comments
5/2/16	City Comments


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Certificate of Authorization #00031567  
DRAWN BY: *DAK* CHECKED BY: *BAJ* SCALE: 1" = 50'  
DATE: 6/16/15 DATE: 6/16/15


JOB NO.  
**14-0458**  
SHEET  
**18**  
OF  
**19**  
JEFFREY A. SEDLOFF  
PE# 51506

**A Landscape and Irrigation Plan will  
be Provided by each Individual  
Lot User upon Final Plan Submittal**

-3A

**Legend**


 To be Removed

 Existing Tree

LEGEND	
Existing Contours	
Proposed Contours	
Existing Grade	
Soil Boring Location	
Proposed Grade	
Finished Floor	
Storm Structure	
Stormpipe	
Fire Hydrant	
Storm Inlet	
Concrete	
Conservation Line	
100 Year Flood	

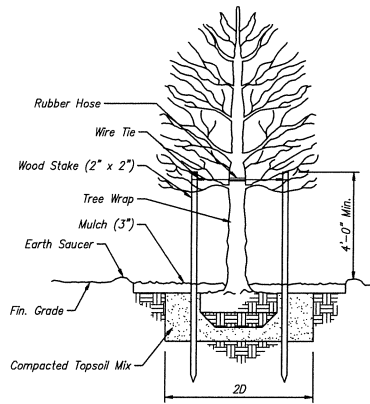
DATE	REVISION
11/2/15	City Comments

*Tree Plan  
Wekiva Parkway  
Industrial Park*

	June engineering consultants, inc.		32 W. Plant Street Winter Garden, FL 34787 Ph. 407-905-8180 Fax 407-905-6232	
	Certificate of Authorization #00031567		SCALE 1" = 50'	

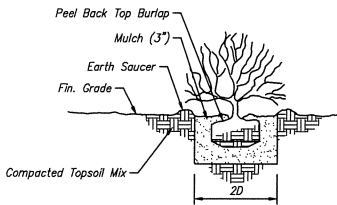
JEFFREY A. SEDLOFF  
PE# 51506

JOB NO. <b>14-0458</b>	SHEET <b>19</b>	OF <b>19</b>
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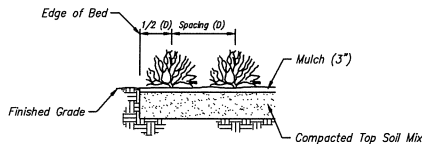
TREE PLANTING DETAIL

N.T.S.



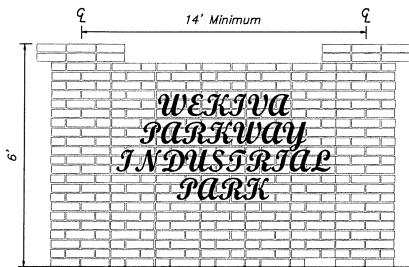
SHRUB PLANTING DETAIL

N.T.S.



GROUNDCOVER PLANTING DETAIL

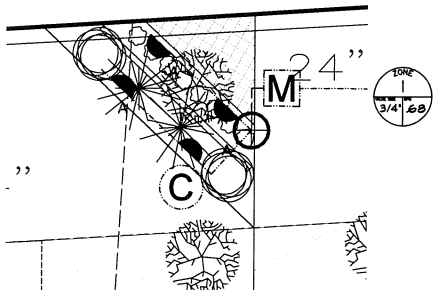
N.T.S.



High Density Sign Foam Lettering

WALL SIGN DETAIL

NTS



PLANT NOTES

- ALL LANDSCAPED AREAS DELINEATED ON THESE PLANS PER SECTION 8 SHALL BE IRRIGATED BY AN AUTOMATIC SYSTEM. THE IRRIGATION SYSTEM SHALL DELIVER 100% HEAD-TO-HEAD COVERAGE. NO RISERS, RAIN SENSOR REQUIRED. SEE IRRIGATION PLAN.
- ALL LANDSCAPED BEDS SHALL BE TOP DRESSED WITH 3\" OF SHREDDED MULCH.
- ALL TREE SAUCERS SHALL BE TOP DRESSED WITH 3\" OF SHREDDED MULCH.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BECOME FULLY FAMILIAR WITH ALL EXISTING SITE CONDITIONS AND TO STUDY ALL SUBSURFACE UTILITY PLANS AND ARCHITECTURAL PLANS SO AS TO PREVENT DAMAGE DURING THE INSTALLATION OF THE LANDSCAPE MATERIAL.
- STAKING OF TREES IS AT THE OPTION OF THE LANDSCAPE CONTRACTOR. HOWEVER, IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO MAINTAIN ALL TREES AND SHRUBS IN AN UPRIGHT PLUM CONDITION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ARCHITECTURAL OR PAVED SURFACES.
- ALL PLANT MATERIAL SHALL BE GRADED FLORIDA NO. 1 ACCORDING TO THE GRADES AND STANDARDS OF THE FLORIDA NURSERYMAN'S ASSOCIATION.
- ALL TREE DIAMETER DIMENSIONS SHALL BE MEASURED AT BREAST HEIGHT ABOVE THE TOP OF ROOTBALL (DBH).
- THE LANDSCAPE CONTRACTOR SHALL WARRANTY ALL SHRUBS FOR A PERIOD NO SHORTER THAN 90 DAYS FROM THE DATE OF THE FINAL ACCEPTANCE BY THE CLIENT AND LANDSCAPE ARCHITECT. ALL TREES SHALL CARRY A MINIMUM ONE YEAR WARRANTY. ALL WARRANTY RESTRICTIONS SHALL BE SPECIFICALLY DESCRIBED IN WRITING AND SHALL BE PART OF THE BIDDING DOCUMENTS PROVIDED TO THE CLIENT BY THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PLANT AND SOO QUANTITY TAKE-OFF. PLAN QUANTITIES RULE OVER PLANT LIST QUANTITIES.

PLANT LIST

QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	SIZE
0	QV	Quercus Virginiana	Live Oak	10'-12' Ht. Min., 6' Spd., 30 gal. 2-1/2\" DBH, 5' Clr. Trk.
2	SP	Sabal Palmetto	Cabbage Palm	10'-12' Clear Trunk Ht.,
2	MG	Magnolia Grandiflora	Southern Magnolia	12' Ht. Min., 5'-6' Spd., 65 gal. 2-1/2\" DBH, 1' Clr. Trk.
8	VO	Viburnum Odoratissimum	Sweet Viburnum	36\" Ht. 30\" o.c.
0	LC	(Lorapetalum 'Plum Delight')	Lorapetalum	15\"-18\" Ht. 30\" o.c.
35	DT	Daniella Tasmanica 'Variegata'	Variegated Flax Lily	1 Gal., 12\"-15\" Ht. 24\" o.c.
	SOD	Paspalum Notatum	Argentine Bahia	Solid Sod in all common areas

Irrigation Legend	
---	3/4\" XBS Flex Tubing
---	PVC Lateral Line - Size as Shown
---	2\" PVC Main Line
●	Nozzle Location - See Chart for Specifications
M	1\" Irrigation Meter
C	RainBird ESP Controller
B	Backflow Preventer
⊕	Rain Bird PCA Series Valve (Size Shown on Zone Label) Installed in Ametek 10\" Round Valve Box
⊕	Rain Bird DV Series Valve (Size Shown on Zone Label) Installed in Ametek 10\" Round Valve Box (Pressure Regulating Valve)

NOZZLE CHART				
Symbol	Description	Pressure	Flow	Radius
A	Rain Bird SQ-HLF (Low Volume)	20 psi	0.17 gpm	4 Ft
B	Rain Bird 15F	20 psi	3.0 gpm	12 Ft
C	Rain Bird 15H	20 psi	1.5 gpm	12 Ft

DATE	REVISION
11/2/15	CITY COMMENTS

Landscape Plan

Wekiva Parkway Industrial Park



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Winter Garden, FL 34787  
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Fax 407-905-6232

Certificate of Authorization #00031567

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DATE: 6/16/15

CHECKED BY: RAJ

DATE: 6/16/15

SCALE

As Noted

JEFFREY A. SEDLOFF

PE# 51506

JOB NO.

14-0458

SHEET

L-1

OF